

Proforma Review

FOR Single Family and Multi-Family Development

PREPARED BY

Altus Group Limited

2500-1050 West Georgia Street, Vancouver, BC V6E 3P3 Canada

27 November, 2023



Altus Group

Tehachapi, California

November 27, 2023

Our Ref: 11130.101098.000

Greenbriar Capital Corp
9 Landport
Newport Beach, California, 92660
Attn: Mr. Ciachurski

by email: westernwind@shaw.ca

Dear Mr. Ciachurski,

Re: Sage Ranch 995 unit Proforma Review | Tehachapi, California

In accordance with your instructions, we have completed a Pro Forma Review Report based on a the 995-unit residential development at the subject location.

At this stage you have not requested that we provide you with an independent appraisal report estimating the current market value of the subject property "as is" nor have you requested we provide you with an independent appraisal indicating the market value of the subject property in the developed scenario. It is stressed that this following letter is not an appraisal report.

The purpose of this analysis is to assist in benchmarking the relative profitability of the concept development, to facilitate obtaining financing.

In the meantime, if you require any elaboration or clarification, please contact me directly at 778.331.8130 or ryan.perrie@altusgroup.com.

Yours truly,

ALTUS GROUP LIMITED

Per:

Ryan Perrie, Dipl.Tech., MRICS
Director

Cost & Project Management







Christopher Mullins, MBA, BSc (Hons), Dip
Proj Man, FRICS, PQS, MAPM, FCMI

Senior Director

Cost & Project Management

Executive Summary

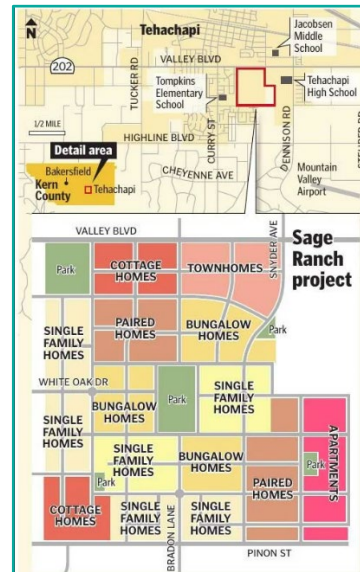
Dashboard	 \$280 PSF Revenue  995 Units  1 to 2 Stories  1,600,763 SF
Civic Address	The site is bound between Valley Rd to the North, Pinion St to the South, the Tehachapi School District Maintenance Yard and High School to the East and existing residential homes on Clearview Street to the West.
Location	City: Tehachapi County: Kern County
Current Zoning	PD Planned Development
Development Scenario	To be developed in 6 phases over approximately 6 years. There will be approximately 165 units per year.
Projected Revenue	995 units, totaling 1,600,763 square feet saleable Target average sales rate of \$280 per square foot of saleable \$421,900,600 projected net residential revenue after 6% sales agent fee
Projected Costs	\$106 per square foot of GLA projected base construction cost \$169,680,878 construction cost \$18,946,631 site servicing cost \$11,707,203 project contingency \$247,571,261 total projected cost
Projected Profit	\$174,329,339 projected net profit and 63.51% profit on cost \$123,374,762 Net Present Value based on a Discount Rate of 6% p.a.

Location

The property is located near downtown Tehachapi between the parallel arterial roads of Valley Boulevard and Pinion Street. The site is within half a mile of city hall and near several shops, restaurants and other amenities. It is also within walking distance to Tompkins Elementary, Jacobsen Middle and Tehachapi High Schools.

Based on the projects location it is anticipated that local buyers will make up 20% of the purchasers with 80% out to town buyers. The project will support the housing demand for the aeronautical and high-tech engineering involvements in the Mojave and Kern County Area.

This includes employers such as Northrup Grumman, Tesla, Space X, Edwards Air Force Base and NASA.



Introduction

The property is currently vacant land. We have received a Final Environment Impact Report dated July 2021 which informs the City and public of the environmental consequences of the proposed project.

The purpose of this Financial Analysis is to consider the overall profitability of providing the site servicing and constructing 995 dwelling units, and 1,600,763 square feet of gross livable area (GLA). The results of the Pro Forma review are enclosed as [Appendix A](#) of this Report, and the overall process and parameters are described below.

Project Areas

This review is based on the “Final Master Development Plan” prepared by JZMK Partners updated June 25, 2021. We include a copy of this in [Appendix D](#). We also received and reviewed the proforma prepared by the Developer dated October 2023.

Zoning and Entitlements

We have received and reviewed the City of Tehachapi Ordinance No. 21-04-762 for which Greenbriar Capital Corporation was seeking approval to construction 995 single and multi-family units on Planed Development (PD) zoned lots with amenities on approximately 138 acres. The City Council of the City of Tehachapi passed this application with certain conditions on September 7th, 2021. We note this approval carries specific conditions. We include a copy of this approval with the conditions of approval in [Appendix E](#).

In reviewing this Ordinance, we have not identified mention of any major issues or outstanding items.

Project Timeline

It is currently projected, the build out of the project will occur over 6 phases spanning approximately 6 years. This timeline for each phase is broken down as follows:

- Grading, storm, sewer and water permits for the first phase anticipated to be received by January 1, 2023.
- A further 2 to 3 months for the approval of permits for home construction.

Phases 1 to 6

Activity	2022 - 2023	2024	2025	2026	2027	2028	2029
Pre-Construction and Permitting	█						
Phase 1 (227,868 SF and 144 units)		█					
Phase 2a and 2b (326,756 SF and 196 units)			█				
Phase 3 (300,266 SF and 142 units)				█			
Phase 4a (206,050 SF and 204 units)					█		
Phase 4b and 5 (365,533 SF and 183 units)						█	
Phase 6a and 6b (174,300 SF and 126 units)							█

A cashflow of the project is enclosed as **Appendix B** of this Report.

Revenue

We have completed a benchmark review of similar home sales in the area and received and reviewed a price evaluation completed by Keller William Forward Living, dated May 2023, who will be the selling agent for the project. Based on this sales data, there is an overall lack of new home supply in the market. Most of the product available in the direct vicinity is 15+ years old and in need of improvements. Given this information and the Development's central location and access to downtown, schools and amenities, we have projected a blended target of \$282 per square foot. This includes \$275 per square foot for the larger single-family homes and patio homes up to \$300 per square foot for the smaller cottage homes. For the purposes of completing a sensitivity analysis within the Pro Forma, we have modeled the impact of this range increasing or decreasing the sales rates by 3% and 6%.

A breakdown of the projected revenues by unit type is as follows:

Description	No. Units	Total Area	Sales Rate / SF
Cottage Homes A	72	84,024	\$300
Townhomes	116	159,500	\$280

Patio Homes	165	324,225	\$275
SFD 7	138	290,214	\$275
SFD 5	120	267,960	\$275
Apartments	204	206,040	\$275
Paired Homes	114	199,500	\$295
Cottage Homes B	66	69,300	\$300

A copy of the Price Evaluation Report is enclosed as **Appendix F** of this report.

At this stage in the review, we have not been provided a copy of a “As If Complete” appraisal, and this report is not intended to substitute that requirement.

Construction Costs

The target construction budget is included at \$106 per square foot of GLA (1,600,763 square feet) provided by the Contractor’s/Developer’s breakdown, as well as a project contingency of 5.0%. The target construction budget was built up using an assumed average home size of 1,750 SF. Based on the current project information available, the average home size is 1,609 SF. assumes a cost-efficient design, and competitive tendering. For the purposes of completing a sensitivity analysis within the Pro Forma, and in addition to a review of the revenue, we have modeled the impact of the construction cost range increasing by 5% and 15% or decreasing by 5% and 10%.

Additionally, we are carrying a budget of \$18,946,631 for site servicing costs. These costs are based on an engineer’s estimate completed by DeWalt Corporation dated June 4, 2019. We note this estimate also includes a 20% contingency within the budget. On top of the June 2019 estimate, the budget has also been escalated by 10%.

Municipal Costs

Municipal costs have been reviewed based on the relevant data currently available for City of Tehachapi and Kern County.

We note the following fees have been included within the budget. Overall, these allowances are reasonable.

1. City Inspection Fees
2. Building Permit Fees
3. School Fees
4. SWPP Control
5. SJVAPCD Dust Control
6. Utility Fees (Water and Sewer)

Development Costs

Based on our review of the Developers proforma we confirm the following amounts included are reasonable:

Architecture, Engineering & Consulting	2.7%
Municipal, Permit, Insurance, Legal, and Other Soft costs	15%
Sales Commissions	6.0%
Contingency	5.0%

In total, Development Cost (*Total Soft Costs, excluding Land and Contingency*) are represented as **24%** of Construction Costs.

We note that the following items are excluded from this Pro Forma:

- Contaminated Soils and Hazmat

Financing

We have assumed that the total project costs will be funded by 100% equity and conventional loan funding will not be used. As the project progresses, any funding requirements on the project will be provided by the parent company and will be monitored to ensure they are disbursed correctly.

Developer's Profit and Investment Returns

	Cost	Profit on Cost	Profit	Project IRR	Net Present Value (Based on 6% discount a.r.)
Phases 1 to 6	\$247.6 M	63.5%	\$174.3 M	59.3%	\$123.4 M

Based on the results of this Pro Forma, we are projecting a profit of \$174,329,339, or 63.5% profit on cost. A Sensitivity Analysis is enclosed as **Appendix C** of this Report, outlining the overall impact on profit from fluctuations in construction cost and sales revenue.

We trust this meets your current requirements. Should you have any questions or require further information, please do not hesitate to call.

Appendices

The following appendices are enclosed:

Appendix A	Pro Forma Summary
Appendix B	Cash Flow
Appendix C	Sensitivity Analysis

Appendix D	Final Master Development Plan
Appendix E	City of Tehachapi Ordinance No. 21-04-762
Appendix F	Price Evaluation Report

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Appendix A – Pro Forma (Phases 1 to 6)

Sage Ranch

Sage Ranch - Phase 1 to 6
Preliminary Feasibility

Licensed to: Altus Group Limited

Time Span: Nov-23 to Nov-30 (14 Half Years)
 Type: Residential
 Status: Under Review
 Site Area: 138 Acre
 FSR: .1
 Project Size: 995 Units 1 per 0.13 Acre of Site Area
 1,600,763 GFA 1 per 0 Acre of Site Area

				Total USD	USD Per Unit	USD Per GFA	% of Total Net Costs	Total Exc Sales Tax
Revenues								
	Quantity	SqFt	USD/Quantity					
Gross Sales Revenue	995	1,600,763.00	451,085.85	448,830,425	451,086	280	181.3%	448,830,425
Detached Dwellings Lots	561	1,035,723.00	514,539.97	288,656,925				288,656,925
Townhouse Lots	434	565,040.00	369,063.36	160,173,500				160,173,500
Less Selling Costs				(26,929,826)	(27,065)	(17)	-10.9%	(26,929,826)
NET SALES REVENUE				421,900,600	424,021	264	170.4%	421,900,600
	Quantity	SqFt	USD/SqFt/annum					
TOTAL REVENUE (before Sales Tax paid)				421,900,600	424,021	264	170.4%	421,900,600
Less Sales Tax paid on all Revenue				-	-	-	0.0%	-
TOTAL REVENUE (after Sales Tax paid)				421,900,600	424,021	264	170.4%	421,900,600
Costs								
Land Purchase Cost				1,000,000	1,005	1	0.4%	1,000,000
Land Acquisition Costs				-	-	-	0.0%	-
Construction Costs				189,627,509	190,580	118	76.6%	189,627,509
Professional Fees				6,257,555	6,289	4	2.5%	6,257,555
Other Soft Costs				35,142,983	35,320	22	14.2%	35,142,983
Amenities				3,116,012	3,132	2	1.3%	3,116,012
Project Contingency (Reserve)				11,707,203	11,766	7	4.7%	11,707,203
Land Holding Costs				720,000	724	0	0.3%	720,000
TOTAL COSTS				247,571,261	248,815	155	100.0%	247,571,261

Performance Indicators			Per Unit	Per GFA	Total Exc Sales Tax
¹ Net Development Profit			174,329,339	175,205	109
³ Development Margin (Profit/Risk Margin)	Based on total costs (inc selling costs)	63.51%			
⁴ Residual Land Value	Based on Target Margin of 17%	110,102,256	110,656	69	110,102,256
⁵ Net Present Value	Based on Discount Rate of 6% p.a. Nominal	123,374,762			
⁶ Benefit Cost Ratio		1.5974			
⁷ Project Internal Rate of Return (IRR)	Per annum Nominal	59.28%			
⁸ Residual Land Value	Based on NPV	124,374,762	125,000	78	124,374,762
¹⁰ Breakeven Date for Cumulative Cash Flow	Half Year 4	Nov-2025			

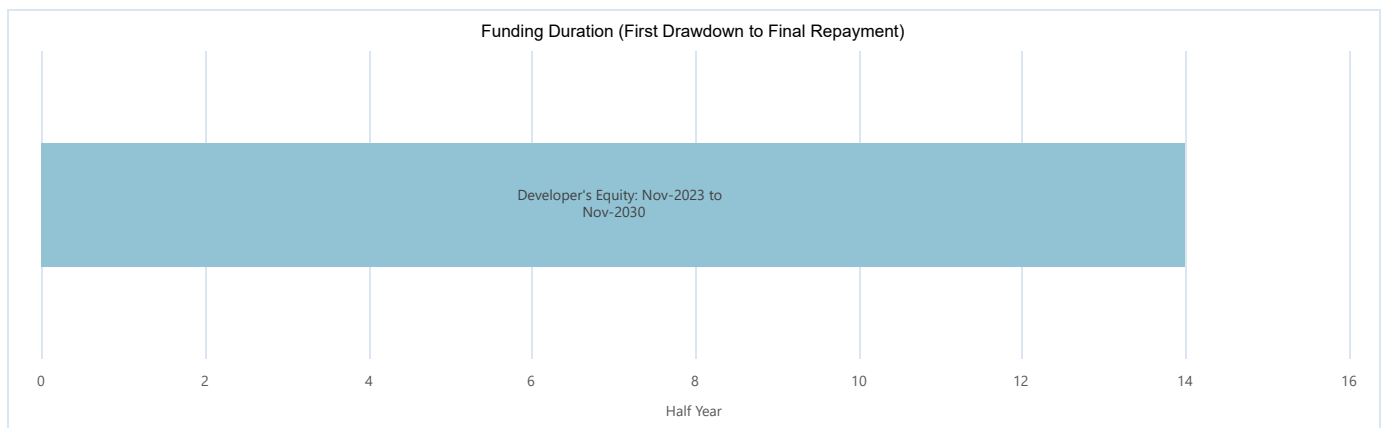
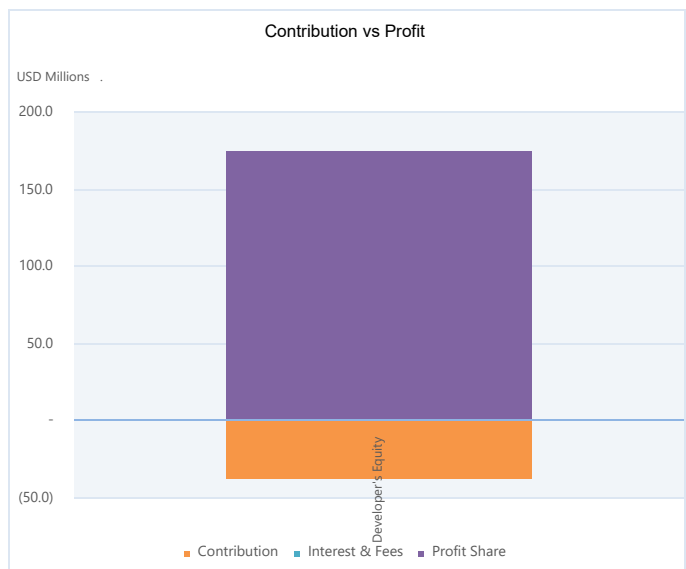
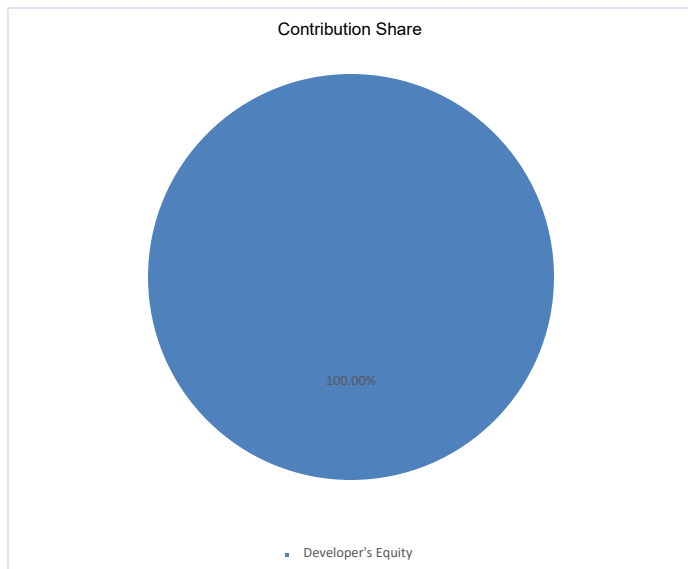
Footnotes:
 1. Development Profit: is total revenue less total cost including interest paid and received
 2. Note: No redistribution of Developer's Gross Profit
 3. Development Margin: is profit divided by total costs (inc selling costs)
 4. Residual Land Value: is the maximum purchase price for the land whilst achieving the target development margin.
 5. Net Present Value: is the project's cash flow stream discounted to present value. It includes financing costs but excludes interest and corp tax.
 6. Benefit:Cost Ratio: is the ratio of discounted incomes to discounted costs and includes financing costs but excludes interest and corp tax.
 7. Internal Rate of Return: is the discount rate where the NPV above equals Zero.
 8. Residual Land Value (based on NPV): is the purchase price for the land to achieve a zero NPV.
 9. The Weighted Average Cost of Capital (WACC) is the rate that a company is expected to pay to finance its assets.
 10. Breakeven date for Cumulative Cash Flow: is the last date when total debt and equity is repaid (ie when profit is realised).
 11. Yield on Cost is Current Net Annual Rent divided by Total Costs (before Sales Tax reclaimed), including all Selling Costs.
 12. The total net development profit divided by the current net annual rental expressed as a number of years/months.
 13. The period of time post practical completion that it can remain unsold (but leased out) until finance and land holding costs erodes the profit for the development to zero.

Sage Ranch

Sage Ranch - Phase 1 to 6
Preliminary Feasibility

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Returns on Funds Invested	Developer's Equity	Total Equity	Total Funding
	Equity		
¹ Funds Invested (Cash Outlay)	38,309,984	38,309,984	38,309,984
% of Total Funds Invested	100.00%	100.00%	100.00%
² Peak Exposure	38,309,984	38,309,984	
Date of Peak Exposure	Nov-23	Nov-23	
Half Year of Peak Exposure	Half Year 0	Half Year 0	
Weighted Average Interest Rate	N.A.	N.A.	
Interest Charged	-	-	-
Line & Standby Fees Charged	-	-	-
Application Fees Charged	-	-	-
Profit Share Received	-	-	-
³ Total Profit to Funders	174,329,339	174,329,339	174,329,339
⁴ Margin on Funds Invested	455.05%	455.05%	
⁵ Payback Date	Nov-30	Nov-30	
Half Year of Payback	Half Year 14 of Land Purchase Price.	Half Year 14 of Land Purchase Price.	



Footnotes:

1. The total amount of funding injected into the project cash flow.
2. The maximum cash flow exposure of that equity/debt facility including capitalized interest.
3. The total repayments less funds invested, including profit share paid or received.
4. Margin is net profit divided by total funds invested (cash outlay).
5. Payback date for the equity/debt facility is the last date when total equity/debt is repaid.
6. IRR on Funds Invested is the IRR of the equity cash flow including the return of equity and realisation of project profits.
7. Loan to Value ratio is the Peak Equity/Debt Exposure divided by Total Sales Revenue.
8. Loan Ratio is the total funds invested by the lender (cash outlay) divided by the nominated ratio calculation method. It includes capitalized interest and fees.

Appendix B –Cash Flow (Phases 1 to 6)

Current Financial Year Cash Flow for Sage Ranch

PROJECT CASH FLOW		TOTAL	Sales Tax	Year 0	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7
				Jun-24	Jun-25	Jun-26	Jun-27	Jun-28	Jun-29	Jun-30	Jun-31
Sale Summary											
Units Sold		995.00	-	-	82.92	165.83	165.83	165.83	165.83	165.83	82.92
Detached Dwellings Lots		561.00	-	-	46.75	93.50	93.50	93.50	93.50	93.50	46.75
Townhouse Lots		434.00	-	-	36.17	72.33	72.33	72.33	72.33	72.33	36.17
	Cumulative Units Sold		-	-	82.92	248.75	414.58	580.42	746.25	912.08	995.00
	% Units Sold		-	-	8.3%	25.0%	41.7%	58.3%	75.0%	91.7%	100.0%
SqFt Sold		1,600,763.00	-	-	133,396.92	266,793.83	266,793.83	266,793.83	266,793.83	266,793.83	133,396.92
Detached Dwellings Lots		1,035,723.00	-	-	86,310.25	172,620.50	172,620.50	172,620.50	172,620.50	172,620.50	86,310.25
Townhouse Lots		565,040.00	-	-	47,086.67	94,173.33	94,173.33	94,173.33	94,173.33	94,173.33	47,086.67
	Cumulative SqFt Sold		-	-	133,396.92	400,190.75	666,984.58	933,778.42	1,200,572.25	1,467,366.08	1,600,763.00
	% SqFt Sold		-	-	8.3%	25.0%	41.7%	58.3%	75.0%	91.7%	100.0%
USD Sold		448,830,425	-	-	37,402,535	74,805,071	74,805,071	74,805,071	74,805,071	74,805,071	37,402,535
Detached Dwellings Lots		288,656,925	-	-	24,054,744	48,109,488	48,109,488	48,109,488	48,109,488	48,109,488	24,054,744
Townhouse Lots		160,173,500	-	-	13,347,792	26,695,583	26,695,583	26,695,583	26,695,583	26,695,583	13,347,792
	Cumulative USD Sold		-	-	37,402,535	112,207,606	187,012,677	261,817,748	336,622,819	411,427,890	448,830,425
	% USD Sold		-	-	8.3%	25.0%	41.7%	58.3%	75.0%	91.7%	100.0%
Handover Summary											
Units Handed Over		995.00	-	-	82.92	165.83	165.83	165.83	165.83	165.83	82.92
Detached Dwellings Lots		561.00	-	-	46.75	93.50	93.50	93.50	93.50	93.50	46.75
Townhouse Lots		434.00	-	-	36.17	72.33	72.33	72.33	72.33	72.33	36.17
	Cumulative Units Handed Over		-	-	82.92	248.75	414.58	580.42	746.25	912.08	995.00
	% Units Handed Over		-	-	8.3%	25.0%	41.7%	58.3%	75.0%	91.7%	100.0%
SqFt Handed Over		1,600,763.00	-	-	133,396.92	266,793.83	266,793.83	266,793.83	266,793.83	266,793.83	133,396.92
Detached Dwellings Lots		1,035,723.00	-	-	86,310.25	172,620.50	172,620.50	172,620.50	172,620.50	172,620.50	86,310.25
Townhouse Lots		565,040.00	-	-	47,086.67	94,173.33	94,173.33	94,173.33	94,173.33	94,173.33	47,086.67
	Cumulative SqFt Handed Over		-	-	133,396.92	400,190.75	666,984.58	933,778.42	1,200,572.25	1,467,366.08	1,600,763.00
	% SqFt Handed Over		-	-	8.3%	25.0%	41.7%	58.3%	75.0%	91.7%	100.0%
USD Handed Over		448,830,425	-	-	37,402,535	74,805,071	74,805,071	74,805,071	74,805,071	74,805,071	37,402,535
Detached Dwellings Lots		288,656,925	-	-	24,054,744	48,109,488	48,109,488	48,109,488	48,109,488	48,109,488	24,054,744
Townhouse Lots		160,173,500	-	-	13,347,792	26,695,583	26,695,583	26,695,583	26,695,583	26,695,583	13,347,792
	Cumulative USD Handed Over		-	-	37,402,535	112,207,606	187,012,677	261,817,748	336,622,819	411,427,890	448,830,425
	% USD Handed Over		-	-	8.3%	25.0%	41.7%	58.3%	75.0%	91.7%	100.0%
Project Cash Flow											
Revenue											
Gross Sales Revenue		448,830,425	-	-	37,402,535	74,805,071	74,805,071	74,805,071	74,805,071	74,805,071	37,402,535
Selling Costs		(26,929,826)	-	-	(2,244,152)	(4,488,304)	(4,488,304)	(4,488,304)	(4,488,304)	(4,488,304)	(2,244,152)
Gross Rental Income		-	-	-	-	-	-	-	-	-	-
Leasing Costs		-	-	-	-	-	-	-	-	-	-
Other Income		-	-	-	-	-	-	-	-	-	-
Interest Received*		-	-	-	-	-	-	-	-	-	-
Sales Tax Payments (Liabilities)		-	-	-	-	-	-	-	-	-	-
TOTAL NET REVENUE		421,900,600	-	-	35,158,383	70,316,767	70,316,767	70,316,767	70,316,767	70,316,767	35,158,383
Costs											
Land and Acquisition		1,000,000	1,000,000	-	-	-	-	-	-	-	-
Professional Fees		6,257,555	531,892	703,975	1,048,140	1,407,950	1,595,677	969,921	-	-	-
Construction Costs		189,627,509	17,033,338	21,220,595	31,595,108	42,441,189	48,100,015	29,237,264	-	-	-
Other Soft Costs		35,142,983	2,987,154	3,953,586	5,886,450	7,907,171	8,961,461	5,447,162	-	-	-
Amenities		3,116,012	264,861	350,551	521,932	701,103	794,583	482,982	-	-	-
Miscellaneous Costs 2		-	-	-	-	-	-	-	-	-	-
Miscellaneous Costs 3		-	-	-	-	-	-	-	-	-	-
Project Contingency (Reserve)		11,707,203	1,040,862	1,311,435	1,952,581	2,622,871	2,972,587	1,806,866	-	-	-
Land Holding Costs		720,000	120,000	120,000	120,000	120,000	120,000	120,000	-	-	-
Pre-Sale Commissions		-	-	-	-	-	-	-	-	-	-
Financing Costs (exc Fees)		-	-	-	-	-	-	-	-	-	-
TOTAL COSTS		247,571,261	22,978,107	27,660,142	41,124,211	55,200,284	62,544,322	38,064,195	-	-	-
Net Cash Flow (before Interest & Corporate Tax)		174,329,339	(22,978,107)	7,498,241	29,192,555	15,116,483	7,772,445	32,252,571	70,316,767	35,158,383	
Cumulative Cash Flow			(22,978,107)	(15,479,866)	13,712,690	28,829,173	36,601,618	68,854,189	139,170,955	174,329,339	
Corporate Tax		-	-	-	-	-	-	-	-	-	-
Net Cash Flow (before Interest & after Corporate Tax)		174,329,339	(22,978,107)	7,498,241	29,192,555	15,116,483	7,772,445	32,252,571	70,316,767	35,158,383	
Cumulative Cash Flow			(22,978,107)	(15,479,866)	13,712,690	28,829,173	36,601,618	68,854,189	139,170,955	174,329,339	
Financing											
Developer's Equity											
Manual Adjustments (Inject + / Repay -)		-	-	-	-	-	-	-	-	-	-
Injections		38,309,984	38,309,984	-	-	-	-	-	-	-	-
Interest Charged		-	-	-	-	-	-	-	-	-	-
Equity Repayment		212,639,323	-	-	-	-	-	-	-	-	212,639,323
Less Profit Share		-	-	-	-	-	-	-	-	-	-
Equity Balance		174,329,339	(38,309,984)	(38,309,984)	(38,309,984)	(38,309,984)	(38,309,984)	(38,309,984)	(38,309,984)	(38,309,984)	174,329,339
Equity Cash Flow		174,329,339	(38,309,984)	(38,309,984)	(38,309,984)	(38,309,984)	(38,309,984)	(38,309,984)	(38,309,984)	(38,309,984)	212,639,323
Project Cash Account		215,790,923	38,309,984	21,268,312	29,192,555	15,116,483	9,334,251	32,252,571	70,316,767	35,158,383	-
Cash Reserve Drawdown		(215,790,923)	(22,978,107)	(13,770,071)	-	-	(1,561,806)	-	-	-	(177,480,939)
Interest on Surplus Cash		-	-	-	-	-	-	-	-	-	-
Surplus Cash Balance		-	15,331,877	22,830,118	52,022,674	67,139,156	74,911,602	107,164,173	177,480,939	0	0
Project Overdraft		-	-	-	-	-	-	-	-	-	-
Net Cash Flow (after Interest & Corporate Tax)		174,329,339	(22,978,107)	7,498,241	29,192,555	15,116,483	7,772,445	32,252,571	70,316,767	35,158,383	
Cumulative Cash Flow**			(22,978,107)	(15,479,866)	13,712,690	28,829,173	36,601,618	68,854,189	139,170,955	174,329,339	
Check Balance		-	-	-	-	-	-	-	-	-	-

* Includes half interest from deposit on land acquisition plus interest received from pre-sale deposits

** Cumulative Cash Flow After Interest is revenue less costs (including interest on overdraft)

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Appendix C – Sensitivity Analysis

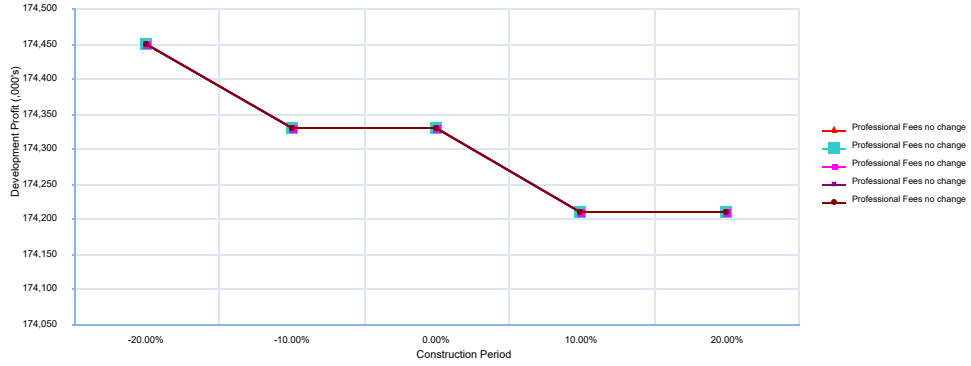
Sage Ranch

Sage Ranch - Phase 1 to 6
Preliminary Feasibility

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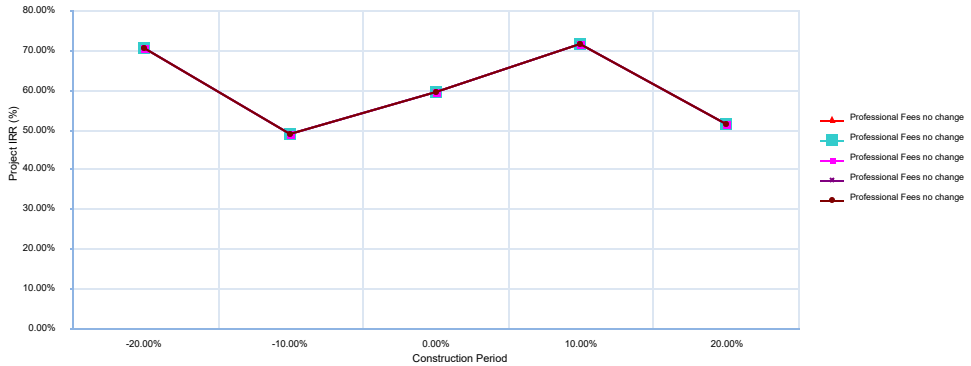
	Change %	Net Dev. Profit	NPV	Dev. Margin	Project IRR	Equity IRR	WACC	RLV (Target Margin)	RLV (Target IRR)
Base Case (No Variation)	0.00%	174,329,339	123,374,762	63.51%	59.28%	26.05%	0.00%	110,102,256	124,374,762
Construction Costs	-10.00%	194,240,227	139,971,781	76.30%	69.79%	29.20%	0.00%	130,033,293	140,971,782
	-5.00%	184,284,783	131,673,272	69.66%	64.42%	27.87%	0.00%	120,076,615	132,673,272
	5.00%	194,373,894	115,076,253	57.79%	54.36%	24.32%	0.00%	100,167,730	116,076,253
	15.00%	144,463,006	98,479,234	47.46%	45.23%	21.08%	0.00%	80,239,752	99,479,234
Sale Values	-6.00%	149,015,303	103,582,132	54.61%	51.55%	23.33%	0.00%	88,714,463	104,582,132
	-3.00%	161,672,321	113,478,447	59.07%	55.46%	24.71%	0.00%	99,426,805	114,478,448
	3.00%	186,986,357	133,271,077	67.92%	63.01%	27.36%	0.00%	120,813,993	134,271,077
	6.00%	199,643,375	143,167,392	72.30%	66.65%	28.44%	0.00%	131,525,482	144,167,393

Variations in Development Profit



Construction Period	Professional Fees	no change	no change	no change	no change	no change
▼20%	174,449	174,449	174,449	174,449	174,449	174,449
▼10%	174,329	174,329	174,329	174,329	174,329	174,329
no change	174,329	174,329	174,329	174,329	174,329	174,329
▲10%	174,209	174,209	174,209	174,209	174,209	174,209
▲20%	174,209	174,209	174,209	174,209	174,209	174,209

Variations in Project IRR



Construction Period	Professional Fees	no change	no change	no change	no change	no change
▼20%	70.24%	70.24%	70.24%	70.24%	70.24%	70.24%
▼10%	48.74%	48.74%	48.74%	48.74%	48.74%	48.74%
no change	59.28%	59.28%	59.28%	59.28%	59.28%	59.28%
▲10%	71.68%	71.68%	71.68%	71.68%	71.68%	71.68%
▲20%	51.48%	51.48%	51.48%	51.48%	51.48%	51.48%

Notes: Two-Way What-If Charts don't consider variations to Corporate Tax caused by the change in the 2 selected variables. This is due to Finance Fees and/or Interest Charges being allocated to Works in Progress (WIP) for Profit and Loss reporting.

Appendix D – Final Master Development Plan



SAGE RANCH

MASTER PLAN COMMUNITY
TEHACHAPI, CA

FINAL MASTER DEVELOPMENT PLAN



SEPTEMBER 15, 2020
UPDATED FEBRUARY 19, 2021
UPDATED JUNE 25, 2021

PREPARED FOR:

SAGE RANCH

Stuart Nacht

22701 Mariposa Road

Tehachapi, CA 93561



PREPARED BY:

JZMK PARTNERS

3080 BRISTOL STREET

SUITE 650

COSTA MESA, CA 92626



PURPOSE OF THE DESIGN GUIDELINES

These Design Guidelines are intended to complement the recent architecture guidelines approved by the city of Tehachapi and the Landscape guidelines adopted in 2016. These guidelines are also intended to generate and support the small town-scale and physical character intended by the Tehachapi General Plan through the design of appropriate civic/park spaces, landscape and architectural details. However, they are specific to the Sage Ranch development and both the New Urbanist Planning and Architectural Character proposed.

The same principals applied to the city guidelines are adopted here, with additional requirements particular to the housing prototypes proposed and a refined architectural character that is reflected. The guidelines are intended to promote the creative design content and maintain the desired level of quality development that the City and Sage Ranch Development team aspire to.

Application of the guidelines will promote the high level of quality development at Sage Ranch that will:
(The first 9 notes below are drawn directly from the Tehachapi Architecture Design Guidelines)

1. Contribute to a positive physical image and identity.
2. Foster design that is sensitive to both the site, its surroundings, and New Urbanist design.
3. Continue guidance for the orderly development of the City and promote high quality development.
4. Maintain and protect the value of property.
5. Reinforce the importance of the pedestrian with scale and space.
6. Ensure that the architectural design of structures and their materials and colors are visually harmonious with surrounding development.
7. Implement improvements that establish distinctive and high-quality neighborhood character.
8. Encourage excellence in architectural design to enhance the visual character of the city, the character of the community, and mitigate against degradation and depreciation.
9. Promote and protect the health, safety, comfort and general welfare of the community, to promote the standards of appearance in the community and encourage the appropriate use of land within the city.
10. Provide a community of exceptional standard and distinctive character that will be a tribute to the future growth of the City of Tehachapi.

Regarding Landscape Guidelines: Landscape Objectives and specific criteria related to the Sage Ranch landscape development are listed and intended to supplement the city landscape design guidelines.

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SECTION 1

INTRODUCTION COMMUNITY OVERVIEW



PROJECT OVERVIEW

Sage Ranch is a 138acre site located between the parallel arterial roads of Valley Boulevard and Pinon Street near Downtown Tehachapi. The site is within a half mile from the City Hall and Central Tehachapi, and in close proximity to many shops, restaurants, and public spaces in the Downtown District. It is commonly considered as Urban Infill and located within the T4 Transect Neighborhood General zone as identified in the city zoning code. The T4 zone “is applied to Tehachapi’s general neighborhood areas to provide for a variety of single-family and multi-family housing choices in a small-town neighborhood setting.” An orientation to a variety of residential housing prototypes are promoted as well as a focus on Streetscape and Public Realm considerations.



*Example photo for Design intent



The Principals of New Urbanism are promoted with Traditional Neighborhood Development that encourages walkable and connected streets, strong streetscapes with housing fronting onto the street, reduction in garage impact, absence of a walled community, orientation to a hierarchy of park conditions in close proximity to all homes, and an architectural vernacular that is consistent with the regional and local architectural character. All of these identifying characteristics are embraced within the planning context for Sage Ranch.

- Total Number of Units: 1000
- Builder Project Opportunities:
Single Family Homes, Townhomes
Age-Targeted Homes, Apartments
- Land Area: 138 Acres

- Building Area: 1,600,000 SF
- Qualified Opportunity Zone
- Construction Start: Q2 of 2020

VISION STATEMENT

The Master Plan for Sage Ranch is consistent with numerous new planned communities throughout California with an orientation toward smaller lots, less maintenance, walkable communities and access to nearby parks and community amenities. New Urbanist planning and Traditional Neighborhood Design provide the over-riding context for the community development. Realizing that there is a greater orientation to open space in a small-town setting; the 7.2 Home/Acre Gross density is actually lower than most of the new planned communities that are planned throughout California.

The smaller lots allow several strong incentives toward quality community development: Orientation to garden, patio and porch spaces provide more community interaction, less yard maintenance and lower water and energy consumption. The higher density of homes will allow for a Home Owner Association to be developed at much more reasonable cost. The Smaller homes comply with the typical market range between \$250K- \$320K as well, while allowing some higher priced homes to occur with a high anticipation for equity improvement. All homes will be designed with special charm and character reminiscent of the great historic communities in America, with porches fronting beautiful tree lined streets.

Diversity of Housing from Single Family Homes to Townhomes to Age Targeted to Apartments

Local Streets with parking on both sides, enhanced tree canopy and Porch-Front Homes

Connected Streets reminiscent of classic New Urbanist Communities

Roundabouts as iconic and unique community feature

Pedestrian connectivity along curb-separated local streets linked to parks and nodal areas

Enhanced Central Avenue on axis leading to Central Park

Hierarchy and Diversity of Parks and Recreation Uses

Central Park with Clubhouse, Central Plaza, Open Meadow and variety of recreation uses



Master Plan Vision

TEHACHAPI LIFESTYLE

The city of Tehachapi is well known for its community activities and strong civic pride. Locals love the family and social opportunities that are prevalent there. It seems every weekend has something happening whether it is the rodeo, a cycle or running event, farmers markets, shopping events, high school football, and the many other numerous civic and charity events.



The natural beauty of this Mountain Town and surroundings provide so many opportunities for hiking, horse-riding or just enjoying the scenery. The holidays are also highly celebrated with festivities and opportunities to express the local pride in community and country. Tehachapi is a special place, where new home buyers can take advantage of the multitude of activities offered and enjoy a mountain lifestyle that most people can only dream of.



MARKET FOCUS

The Market Orientation provided the planning for 1000 total dwelling units at an overall gross density of 7.2Homes/Acre. Eight different housing prototypes ranging from 5,500 SF Single Family lots with 2,600 SF Homes to Single Story Attached Homes at 950 SF define the for-sale market. Apartments constructed at a condominium specification are also included with a range of 750-1,200 SF. There is a diversity of housing options within the community that appeal to a large demographic and wide variety of income buyers. Current Market speculation is that about 20% of the buyers will be local homeowners, with the 80% balance anticipated for out of town buyers.



These buyers are anticipated to come from the large sophisticated population of engineers and skilled tradesmen related to the aeronautical and high-tech engineering involvements in the Mojave and Kern County Area. Northrup Grumman, Tesla, Space X, Edwards Air Force Base, NASA and numerous other engineering affiliations all have regional involvements with high paid and affluent employees. Tehachapi provides a cooler environment to live in within closer proximity to these employment centers, and has reflected a strong market for young family and millennial buyers. The recent opening of the Adventist Regional Hospital in Tehachapi and the current construction of a Walmart store are strong signs of the current optimism and growth in the community. The 55+ senior market is also strong and numerous 1 story options are presented for this age-targeted emphasis. In general, the community has been planned to appeal to the wide array of buyer opportunities that are prevalent in the Tehachapi area.

CHARACTER OVERVIEW



Parks and Community Amenities will be a strong part of the community. A hierarchy of community, neighborhood and pocket parks is proposed. The Central Park at an approximate 4acre size will provide the heart of the community and is planned to provide numerous active and passive park amenities. An iconic community building is proposed to allow gathering functions with kitchen, meeting room and bathrooms.



Another large 3 acre park along Valley Boulevard will provide numerous active park uses and provide an impressive edge to the community. A variety of sports fields, sports courts, barbecue and social areas, playgrounds, garden areas and open space play areas are planned. A series of smaller pocket parks are also planned; all within a short walking distance of any home in the community. The apartment project may have an enclosed pool area and gym for the use of its tenants.



STREETSCAPE OVERVIEW

Streetscape at Sage Ranch is another significant feature of the community with a strong focus to “Complete Streets” and to connected streets throughout the community. There are multiple access points to traffic access in all directions; planned to allow the smooth flow of traffic and not to rely on single access points which can create congestion. All streets are planned with curb separated sidewalks and tree lined parkways adjacent to the roads. The intent is to create a strong street tree character allowing abundant shade conditions. The vast majority of garages will be accessed through enhanced alley conditions, allowing architecture to front the streets with parallel guest parking directly in front of homes. Other special features will include a central theme road which ends in both directions from Valley Blvd and Pinon Street to a central park.

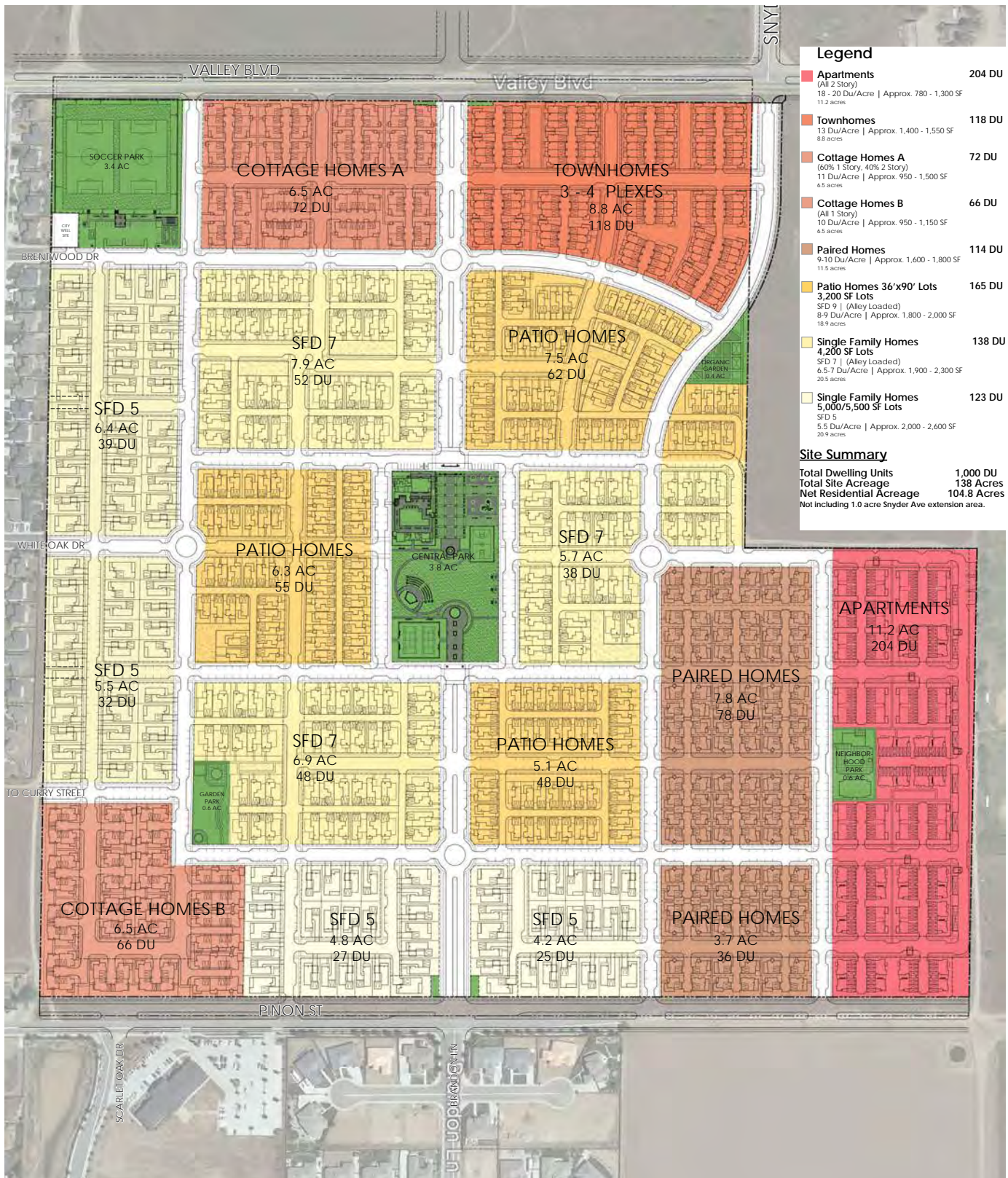


This central theme road will have a median, with porch-fronting homes and special landscape enhancement. Another special feature is the development of neighborhood roundabouts within the community, providing a unique and special character element. Special emphasis has been put on the design of these roundabouts to allow the safe and smooth flow of auto, bicycle and pedestrian traffic.

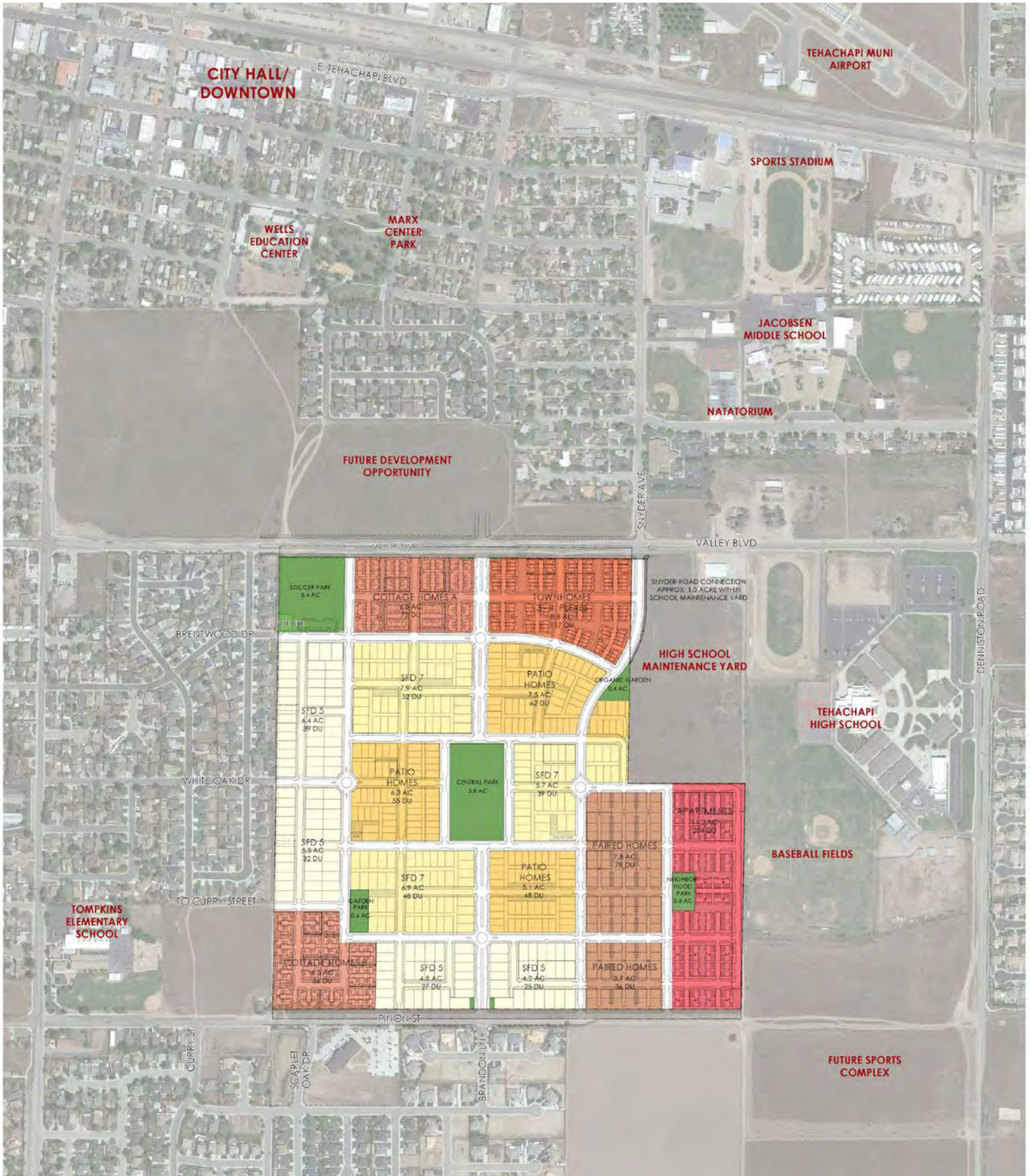
Other special features include the widening of landscape parkways along both Valley and Pinon Street to allow more street trees and landscape edges. Special planning has also been included at perimeter edges of the community to allow deeper lot setbacks and landscape.



LAND USE PLAN



SURROUNDING LAND USE CONTEXT



SECTION 2

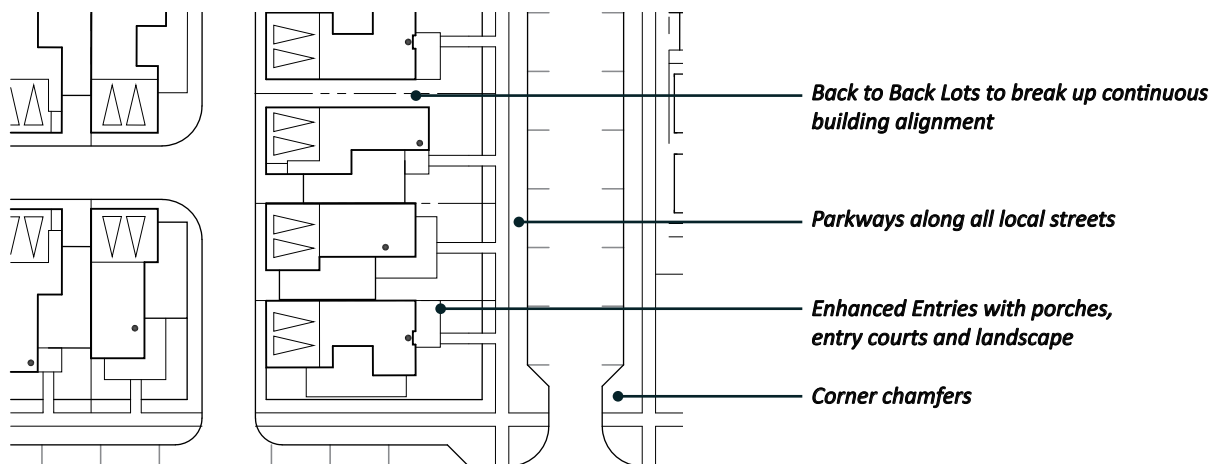
COMMUNITY DESIGN



NEIGHBORHOOD CRAFTING

The following criteria are required for implementation within all streets, neighborhoods and open space conditions:

1. Street chamfers (tapers) are required at all arterial and local street corners to increase landscape area and promote shorter road crossings. Street chamfers must extend minimum 25' with typical 30' from street corners. Street chamfers are also recommended at primary mid-block locations where pedestrian traffic prevails.
2. Side yard Fencing setbacks from all sidewalks must be a minimum of 3', with minimum 5' preferred. Interim space to be landscaped with shrubs and trees where possible.
3. Rear elevations within public view need to reflect enhanced detail elements, which may include enhanced window treatments, color accents, overhangs, balconies, and special features.
4. All streets except private alleys shall have curb-separated sidewalks.
5. Front porches, pre-entry courtyards, and/or enhanced entry treatments are required for all homes fronting public streets.
6. Parking lot areas (where occur) will be screened by either low walls, hedges, and tree massing.
7. All street and perimeter setbacks are required to conform to the setback criteria listed for the building prototypes.
8. Alleys within neighborhoods are required to have at least one tree per unit average (appropriate scale) along alley access conditions.
9. Accent paving is required at significant intersections, roundabout areas, alley court conditions, and strategic locations with high use or visibility.
10. Front entry garages are required to have varied setbacks, access conditions, and entry character. Mid-recess and deep recess garages are encouraged. No 3 car garages along the street are allowed. All front entry garages shall be set back behind the front porches or behind the primary unit face a minimum of 10'. Side-on garages are not allowed.
11. In back to back zero lot line conditions, a minimum 10' building separation is required.
12. Builders are required to maintain the road system established. Up to a 5% reduction in square footage from the February 11, 2019 Planning Commission approval is allowable at staff level review. More than a 5% reduction will require Planning Commission review. There is no limit to increases in square footage.



Typical Neighborhood Layout

SITE PLAN

The Site Plan was developed to provide the allocation of 8 different housing prototypes allowing a varied mix of buyer opportunities within a neighborhood structure. An appropriately scaled block form is developed that complies with the Zoning T4 Zone Neighborhood Standards, allowing great connectivity within groupings of diverse neighborhoods.

A hierarchy of parks is planned to comply with the Pedestrian Shed criteria in which all homes are within a quarter mile of a park/civic use. Parks are also diverse in character to provide a multiple of community amenities and activities. All neighborhoods are required to tie into adjacent park and streetscape conditions to provide a seamless community context.

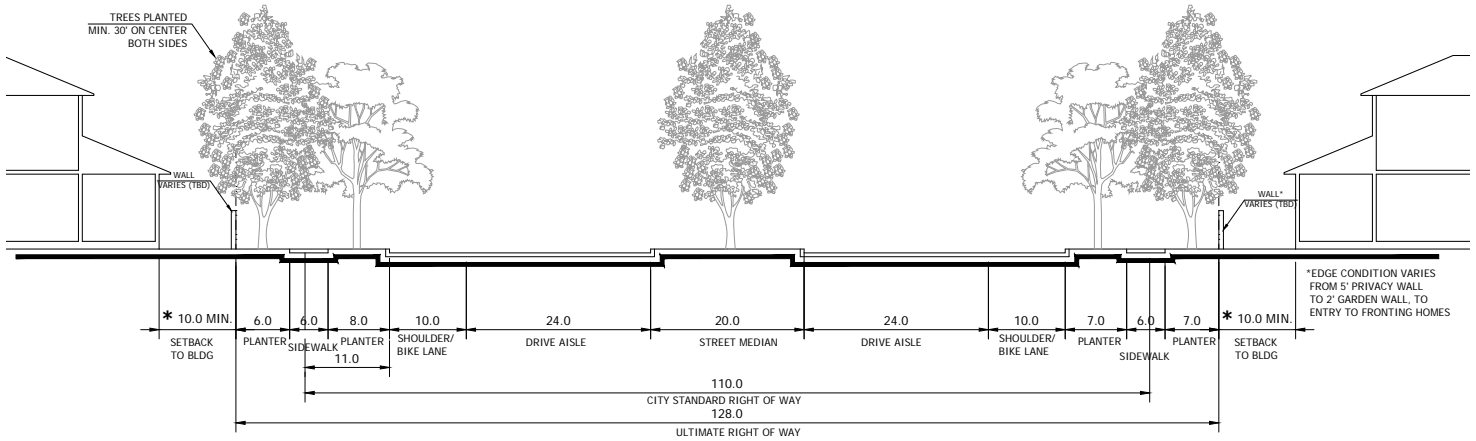


CIRCULATION PLAN

The circulation planning for Sage Ranch follows New Urbanist Principles while allowing 12 varied connections to adjacent street systems and thereby allowing a connected street system and alleviation of traffic concerns. The Hierarchy of streets includes a Central enhanced Avenue as a primary entry into the community and leading to the Central Park from both Perimeter Arterials Valley Blvd and Pinon Street. Secondary local streets throughout the project typically provide parallel parking on both sides with direct access to fronting homes accessed from alleys. Roundabouts were also incorporated into the street system at strategic locations to provide safe flow of traffic and act as an iconic community statement. Each neighborhood block is required to maintain the road system and standards designed, although lot and alley conditions within the block format may be revised pending new lot criteria. Up to a 5% reduction in square footage from the February 11, 2019 Planning Commission approval is allowable at staff level review. More than a 5% reduction will require Planning Commission review. There is no limit to increases in square footage.

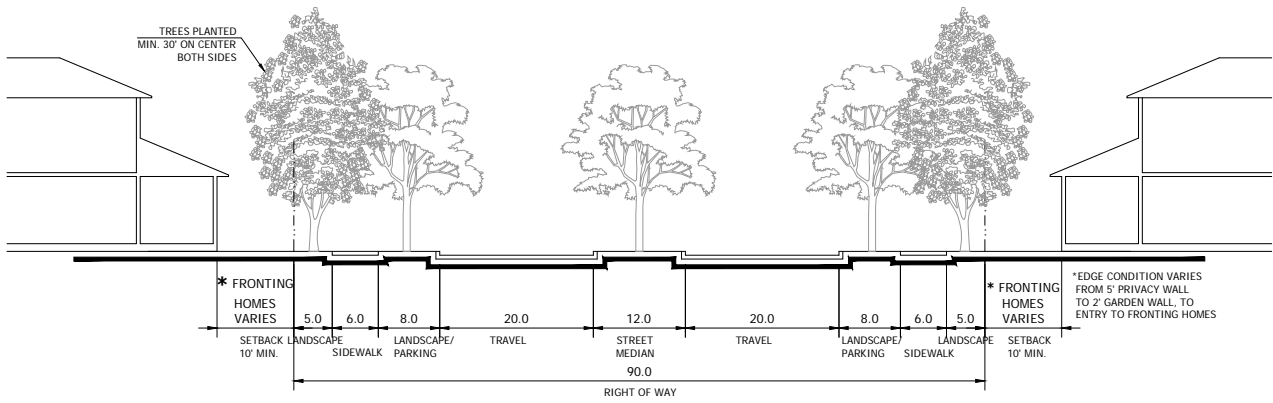


STREETSCAPE

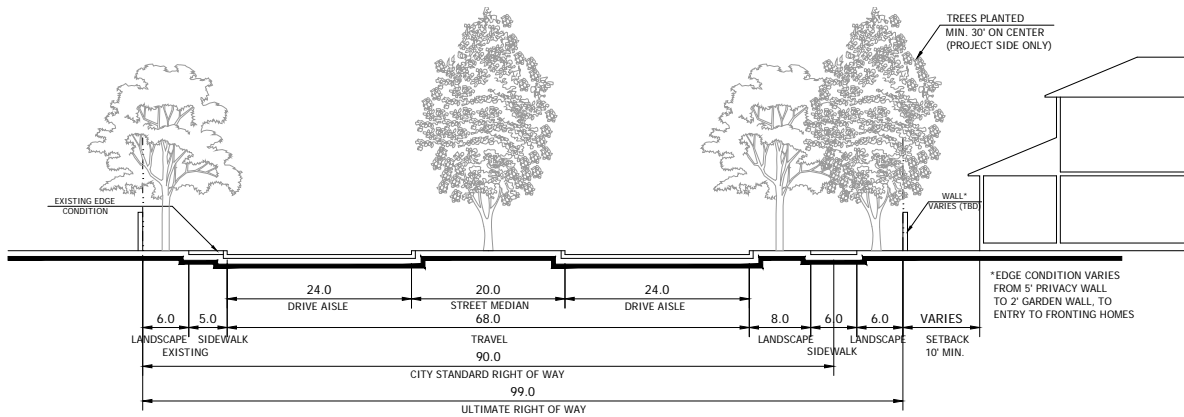


MAJOR ARTERIAL - VALLEY BLVD ROAD SECTION

NOTE: 1) ROW WIDENING BY 9'0" ON BOTH SIDES FROM CITY STANDARD - TO ALLOW ENHANCED LANDSCAPE EDGE CONDITIONS
 2) UPDATED 7/22/20 TO REFLECT TRAVEL LANES AND ON-STREET BIKE LANES BOTH SIDES



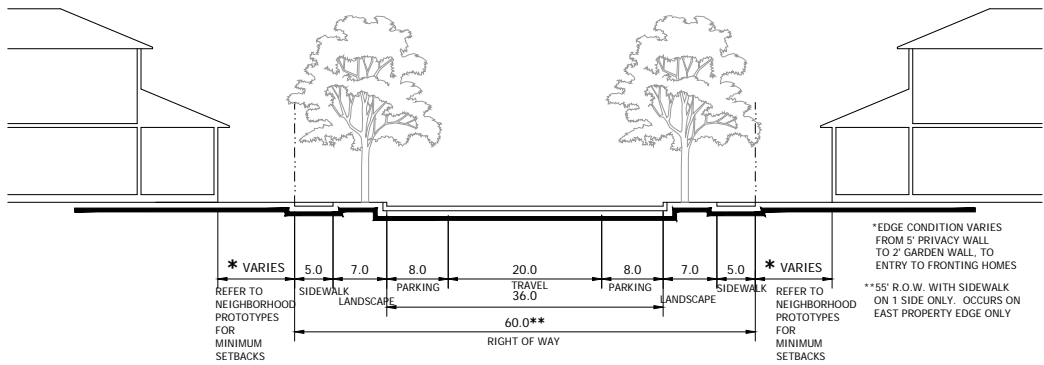
CENTRAL AVENUE



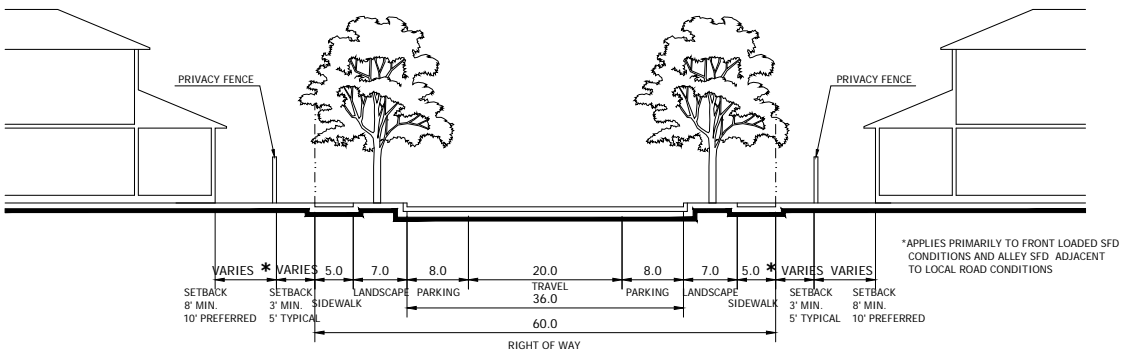
NOTE: 1) ROW WIDENING BY 9'0" ON NORTH SIDE FROM CITY STANDARD - TO ALLOW ENHANCED LANDSCAPE EDGE CONDITIONS
 2) UPDATED 9/14/20 TO REFLECT CENTRAL MEDIAN

MINOR ARTERIAL - PINON ST

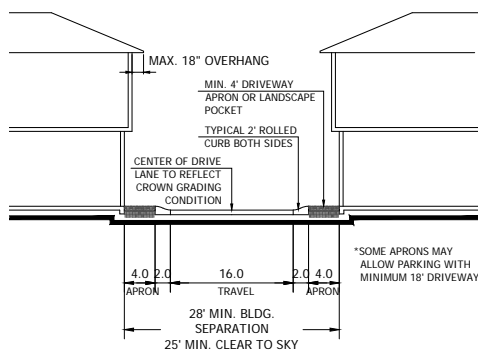
STREETSCAPE



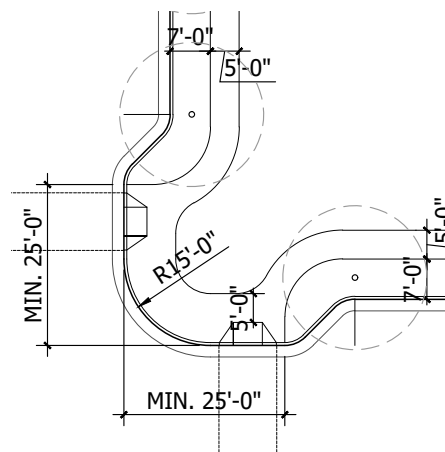
LOCAL ROAD SECTION



ALTERNATIVE TYPICAL STREET EDGE CONDITION



TYPICAL ALLEY SECTION



TYPICAL CORNER TAPER PLAN

Note: Roundabout design per civil engineer

SIGNAGE AND MONUMENTATION

Signage and Monumentation Exhibits have been submitted to the City for review. Pending their approval they will be submitted within the Precise Development Plan Process.

PARKS AND OPEN SPACE

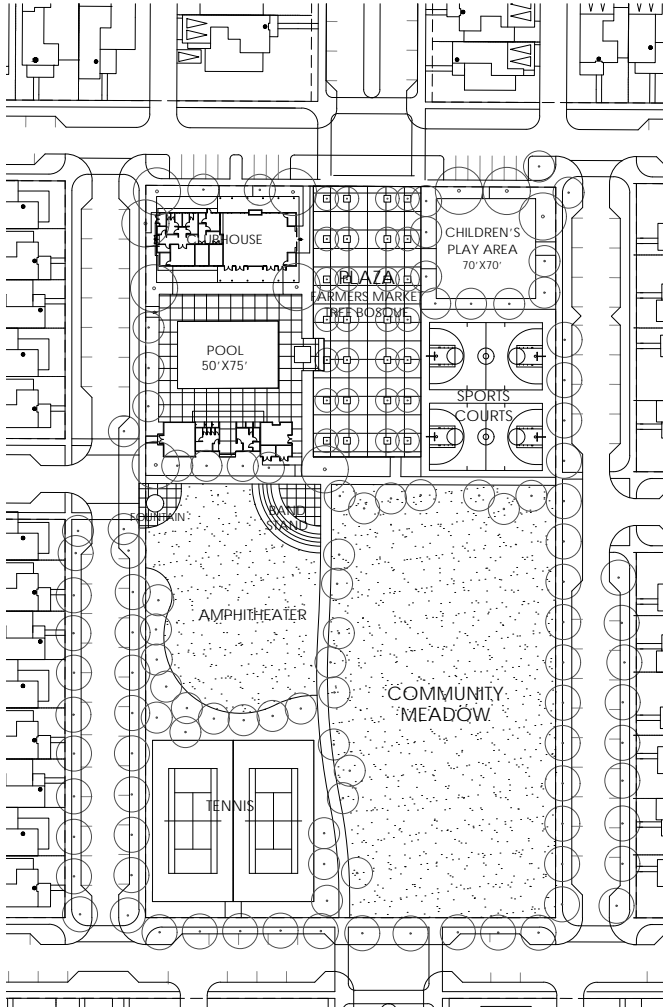
Parks and Community Amenities will be a strong part of the community. A hierarchy of community, neighborhood and pocket parks is proposed. The Central Park at an approximate 4acre size will provide the heart of the community and is planned to provide numerous active and passive park amenities. An iconic community building is proposed to allow gathering functions with kitchen, meeting room and bathrooms.

Another large 3 acre park along Valley Boulevard will provide numerous active park uses and provide an impressive edge to the community. A variety of sports fields, sports courts, barbecue and social areas, playgrounds, garden areas and open space play areas are planned. A series of smaller pocket parks are also planned; all within a short walking distance of any home in the community. The apartment project shall have an enclosed pool area and gym (or equivalent facilities as approved by the City) for the use of its tenants.

The parks and community buildings will be constructed by the master developer. Builder responsibility is to tie into edge conditions where applies. The apartment amenities and clubhouse are requirements of the apartment builder.

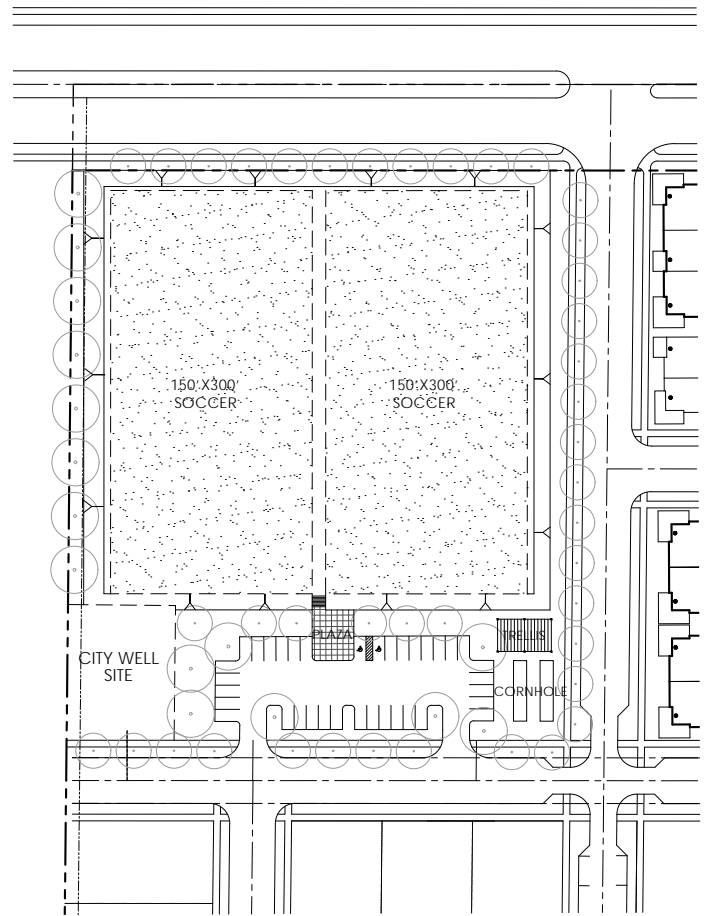


PARKS PLANS



CENTRAL PARK PROGRAM 3.8 ACRES

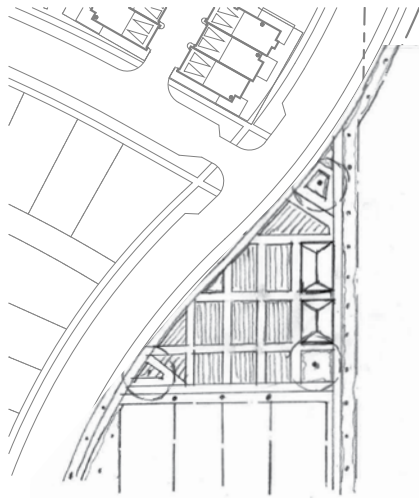
- COMMUNITY CLUBHOUSE - 3,500 SF
 - INFORMATION CENTER
 - LOUNGE AREA
 - KITCHEN
 - GYM / YOGA
 - MEETING ROOM
 - GAME ROOM
- POOL / JACUZZI
- CENTRAL PLAZA / EVENTS AREA
- PLAYGROUND
- SPORTS COURTS (2)
- TENNIS COURTS (2)
- OPEN MEADOW
- AMPHITHEATER / BANDSTAND
- FOUNTAIN PLAZA
- FRUIT ORCHARD
- PERIMETER PARKING - 60 STALLS



SOCCER PARK PROGRAM 3.4 ACRES

- SOCCER FIELDS (2)
- ENTRY PLAZA
- TRELLIS/BATHROOM AREA (2)
- PICNIC AREAS / SEATING
- CORN HOLE (2)
- PARKING - 36 STALLS
- DETENTION BASIN (2.5 ACRES)

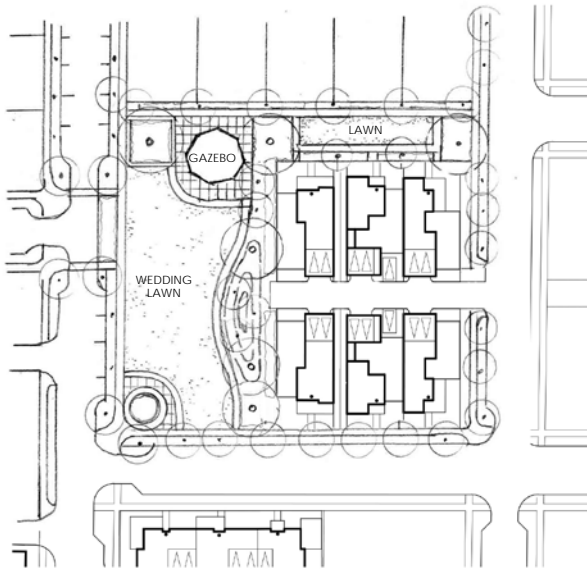
PARKS PLANS



NEIGHBORHOOD PARK 1 COMMUNITY GARDEN 0.4 ACRES

PARK PROGRAM

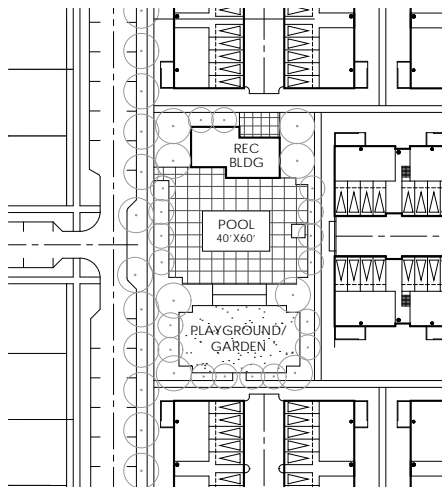
- COMMUNITY GARDEN
- VARIOUS RAISED FARM PLOTS
- FARM SHEDS
 - EQUIPMENT / SUPPLY STORAGE
 - SHADE AREAS
 - SEATING
 - PRODUCE STAND
- SPECIMEN SHADE TREES



NEIGHBORHOOD PARK 2 WEDDING/PASSIVE GARDEN 0.6 ACRES

PARK PROGRAM

- ENHANCED LANDSCAPE GARDEN CONCEPT
- OPEN GAZEBO
- LAWN / EVENTS AREA
- ROSE GARDENS
- SEATING AREAS

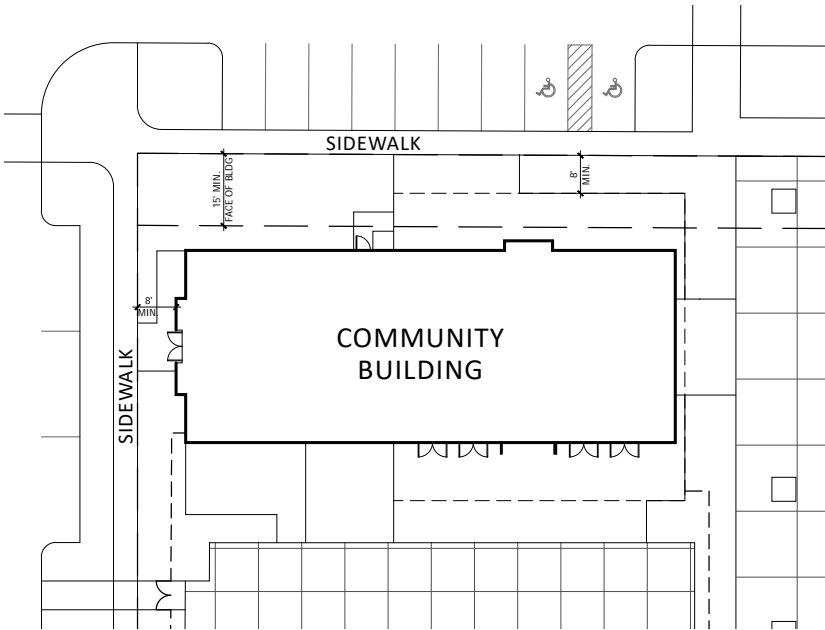


APARTMENT RECREATION AREA (PRIVATE TO APARTMENTS) 0.6 ACRES

PARK PROGRAM

- REC/LEASING BLDG - 2,000 SF
 - LOUNGE AREA
 - LEASING OFFICE
 - SMALL KITCHEN
 - MEETING ROOM
 - SMALL GYM
- POOL - 40' X 60'
- JACUZZI
- BBQ
- GARDEN AREA / PLAYGROUND

COMMUNITY BUILDING



Community Building Design Criteria

Front to Back of Sidewalk	8' Min. To Covered Porch 15' Min to Face of Building
Side to Back of Sidewalk	8' min. 10' Preferred
Side to Plaza or Park Edge	8' Min.
Building Height	1 Story with Barn Ht. preferred 2 Story allowed. 35' Ht. Maximum
Parking Criteria	4 Spaces for every 1000 SF Parking required directly in Front - or adjacent street parallel parking within 200' of building.
Architecture Style	1 Singular Style Farmhouse Architecture Preferred. Other styles within Guidelines Style criteria are allowed



Conceptual Community Building Farmhouse Design

SUSTAINABLE PRINCIPLES

A Responsible Sustainable Approach will be applied to all elements of the Sage Ranch Community. In compliance with state standards; all Single-Family homes will have PV roof panels, with Attached homes having shared energy panels. All homes will respect smart house principals with energy savings devices, systems controls, and efficiency components. Water consumption will be reduced for parks and open space areas with reclaimed water connections to nearby non-potable water systems. Low flow irrigation technologies and drought tolerant landscaping will be promoted. Local materials will be sourced, with reclaimed materials promoted. Trash recycling will be included as a community standard with separate bins and receptacles. The end result will be a community with a strong emphasis on conservation and sustainability with lower power, energy and water consumption.



*Example photo for Design intent

LIGHTING

Lighting Guidelines

Lighting requirements must comply with the zoning code item 4.4-.090 Lighting and code 4.50.080 Parking Lot Lighting – as listed below. They must also take into consideration provisions as indicated in the City of Tehachapi Subdivision and Development Standards, and The Greater Tehachapi Area Specific & Community Plan. (Primarily related to Dark /Skies development principles) The Sage Ranch EIR also reflects adherence to Dark Sky principles to be taken into consideration. Additional requirement specific to Sage Ranch are also listed below the code requirements:

4.40.090 Lighting

A. Purpose and Intent

1. This section provides standards for outdoor lightning of non-residential uses to minimize light and glare on adjacent properties. (we assume this relates to parks, open spaces and streetscapes at Sage Ranch)
2. The intent of these standards is to limit outdoor lighting the minimum necessary for safety and security.

B. Development Standards

1. Fixture Height

- a) Outdoor light fixtures shall be limited to 20 feet height.
- b) The Review Authority may approve a fixture in excess of 20 feet if it determines that the additional height will provide lighting that complies with City standards.

2. Fixture Energy-efficiency. Outdoor lighting shall utilize energy-efficient (high pressure sodium, low pressure sodium, hard wired compact florescent, or other lighting technology that is of equal or greater energy efficiency) fixture lamps.

3. Light and Glare

- a) Lighting fixtures shall be shielded or recessed to minimize light bled to adjoining properties, by ensuring that the light source (e.g., bulb, etc.) is not visible from off the site and confining glare and reflections within the boundaries of the site to the maximum extend feasible.
- b) Each light fixture shall be directed downward and away from adjoining properties and public rights of way, so that no on-site light fixture directly illuminates an area off the site.
- c) Illumination levels shall comply with City standards.

4.50.080 Development and Maintenance of Parking Lots

E. Parking Lot Lighting

1. Any lighting used to illuminate a parking lot shall be directed and shielded as to not illuminate surrounding properties.
2. Light standards shall be in scale with the project setting; however in no case shall light standards exceed 20 feet in height measured from top of grade to the highest point of the equipment. In instances where it can be established that additional height is required for health and safety reasons, an additional five feet in height is allowed subject to review and approval by the Director. (DRC)

Sage Ranch Project Specific Lighting Guidelines

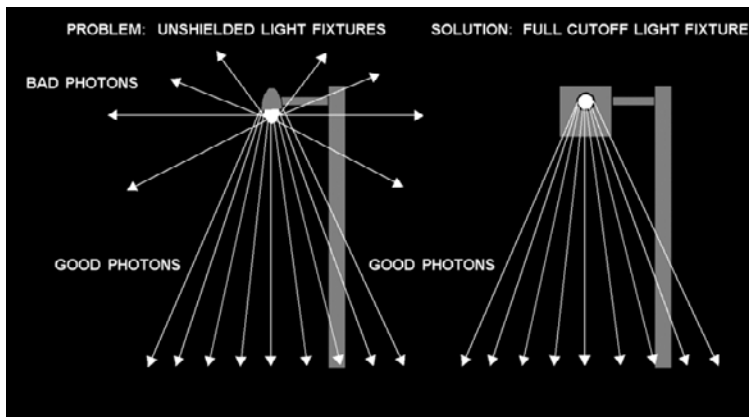
Design Principles

Lighting is an important element contributing to the identity and unity of the community. Lighting design shall maintain a consistent character throughout all levels that reflect the Mountain Town Vernacular or Farmhouse character that Sage Ranch aspires to.

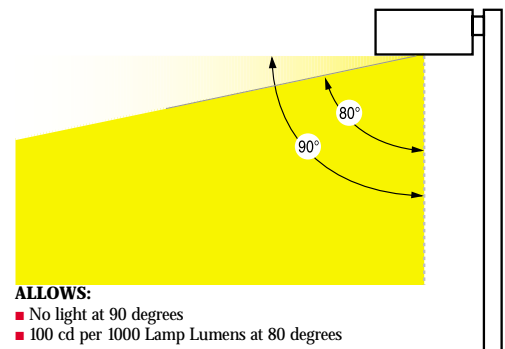
Pedestrian Walkways and building entries should be illuminated to provide for pedestrian orientation and to clearly identify a secure route between streets and parking areas and points of entries.

Sage Ranch Lighting Guidelines

1. Location and Design of lighting fixtures require the review and approval of the DRC and must comply with city standards.
2. Alley lighting will rely on building lighting and will not require any pole lighting, unless within internal open spaces or near pedestrian connections.
3. All vehicular circulation and parking lot lighting shall have zero cut-off fixtures. (the lens is not visible from any angle)
4. Pole bases in planted areas shall not be higher than 6 inches above grade.
5. Building walkways and entries may be lit with soffit, bollard, step or comparable lighting.
6. Step or bollard lighting shall be used to clearly illuminate level changes and handrails for stairs or ramps.
7. Bollard heights shall not exceed 42" in height.
8. Courtyards and seating areas shall be lighted to promote pedestrian safety and use. A variety of lighting may be used to create interest and special effects in coordination with the character and function of the area.
9. Pedestrian lighting shall be subdued LED lamps.



Avoid un-shielded light fixtures



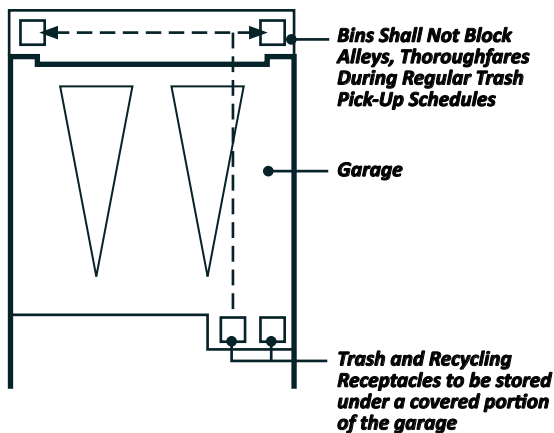
Full cut-off lighting

TRASH COLLECTION

Trash collection at Sage Ranch will be provided almost completely by garage door pickup through alley access except in the Apartments, which will be serviced by trash enclosures as indicated below. Please note the following regarding trash collection practices:

1. Trash collection throughout the Sage Ranch Community will be provided by Waste Management (WM) and regulated by the Sage Ranch HOA. Trash service and recycling considerations shall be in compliance with WM standard policies and regulations.
2. Organic waste will be serviced by the HOA with removal to dispersion sites. Apartment organic waste will be serviced by the apartment maintenance services and removed to designated organic waste collection site with appropriate scaled bins.
3. Trash collection in all homes other than the apartments must be enclosed within garages and completely screened from view other than on scheduled collection days.
4. Two (2) 96 gallon trash bins to be provided by Waste Management for all homes except the apartments, for separation of standard trash and recyclable waste. Organic waste will be collected in consideration of front yard maintenance by HOA.
5. Bins are to be located within driveways aprons in alley conditions so as not to impede drive access. Trash bins are required to be brought back into the garage areas during same day as the pickup schedule.
6. Trash enclosures within Apartments will be located at 8-10 locations within the apartment site at a maximum ratio of 30 units per enclosure. All enclosures shall endeavor to be within 200' of each apartment garage unit. Trash enclosures shall have separate receptacles for standard trash and recyclable waste.
7. One large item trash pad location will be located in the site for the use of the Sage Ranch community to discard large trash items.
8. No trash enclosures are allowed along the west local street fronting the apartments.

Note: Alternatives to trash collection at dead end alleys are to be determined. Alternatives will review both driver service in alley's and bin relocation services out to the local street.



Bin placements in residential units



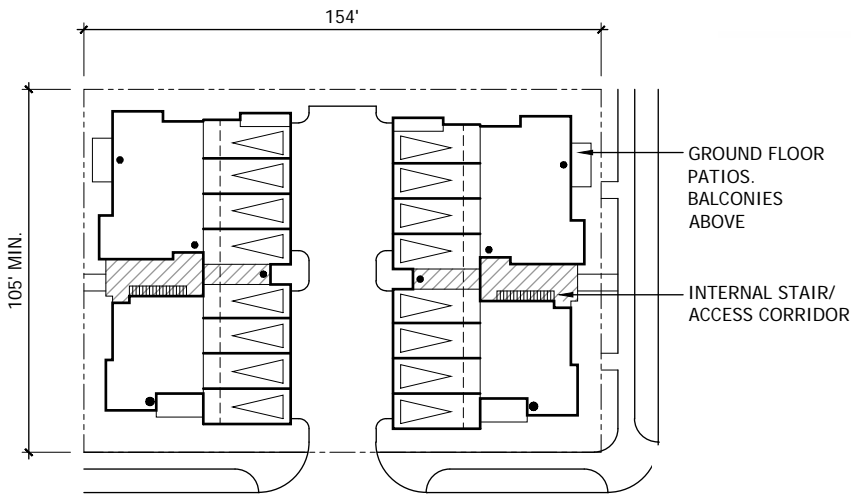
Trash enclosure

SECTION 3

NEIGHBORHOOD PROTOTYPES



APARTMENTS / CONDOMINIUMS



TYPICAL 8-PLEX

Product Building Types (Each with 6 units)

Plan SF Range	780 – 1300 SF
Approximate Net Density	18 DU/Acre
Building Height	2 Story - 35' Height Maximum
Parking	1.5 Attached Carport Min. per Unit .5 guest per unit on street parking
Patio/ Courtyard Area	Min. 150 SF / Unit Ground Floor
Balcony Area	Min. 80 SF / Unit Second Floor
Porch Conditions	Not required but allowed

Setbacks

Front to Back of Sidewalks	10' Min.
Side to Back of Sidewalks Between Buildings	8' Min. 10' Preferred
Side to Side	10' Min. 15' Preferred
Front to Front	30' Min.
Corner/ Street Side	10' Min.
Garage Setback (Apron)	3' min. 5' Maximum 'All plexes are alley loaded'

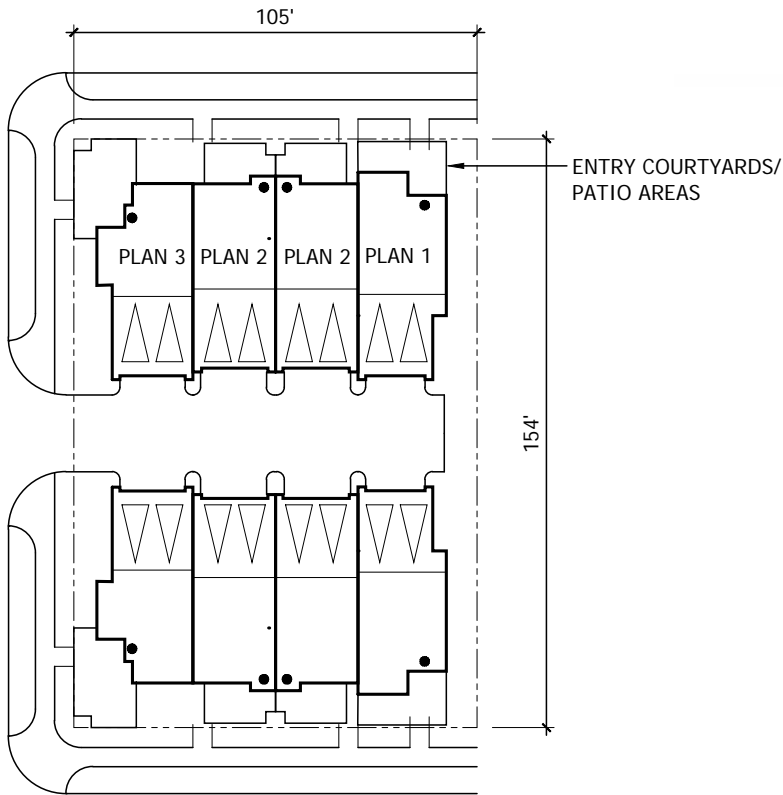
Architectural Styles

Singular style proposed with color/material variation.
4 floor plans anticipated



* Elevations are intended to reflect the intended floor plan.

TOWNHOMES



TYPICAL 4-PLEX

Product Criteria

Building Types	2 (3-plex and 4-plex)
Plan SF Range	1400 – 1550 SF
Approximate Net Density	13 DU/Acre
Building Height	2 story 35' maximum
Parking	2 garages per Unit/ 1 guest per unit on street parking
Patio/ Courtyard Area	Min. 150 SF / Unit
Porch Conditions	No porches required Entry courtyards are required

Setbacks

Front to Back of Sidewalks	10' min.
Side to Back of Sidewalks	8' min. 10' Preferred
Between Buildings	
Side to Side	15' min. 20' Preferred
Front to Front	30' min.
Corner/ Street Side	10' min.
Garage Setback (Apron)	3' min. 8' maximum

All TH's are alley loaded. Long driveways may allow alley parking if 18' or longer.

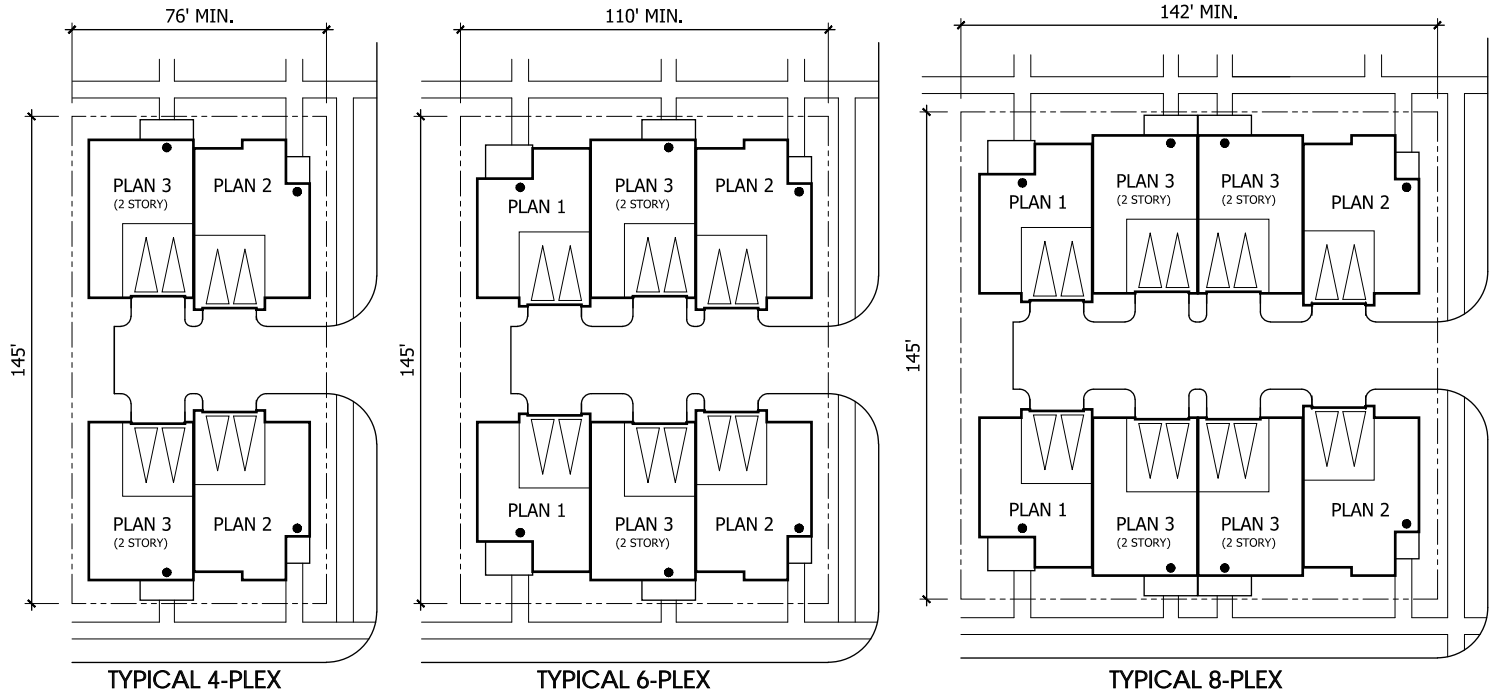
Architectural Styles

Varied styles (2-3) proposed per building plex. 3 floor plans anticipated



* Elevations are intended to reflect the intended floor plan.

COTTAGE HOMES A



Product Criteria

Lot Sizes	4 Plex 76' x 145'
	6 Plex 110' x 145'
	8 Plex 142' x 145'
Plan SF Range	950 – 1,500 SF
Approximate Net Density	11 DU/acre
Building Height	2 story 35' maximum
	Approx. 60% 1 story units and
	40% 2 story units
Parking	1 garage per 1 br units
	2 garages per 2/3 br units
	(1.75 covered parking ratio min.)
	1 guest per unit on street parking
Patio/ Courtyard Area	Min. 150 SF / unit
Porch Conditions	Min. 50% front porches

Setbacks

Front to Back of Sidewalks	8' min. 10' preferred
Side to Back of Sidewalks	8' min. 10' preferred
Between Buildings	
Side to Side	10' min. 15' preferred
Front to Front	30' min.
Corner/ Street Side	10' min.
Garage Setback (Apron)	3' min., 5' maximum
	All units are alley load

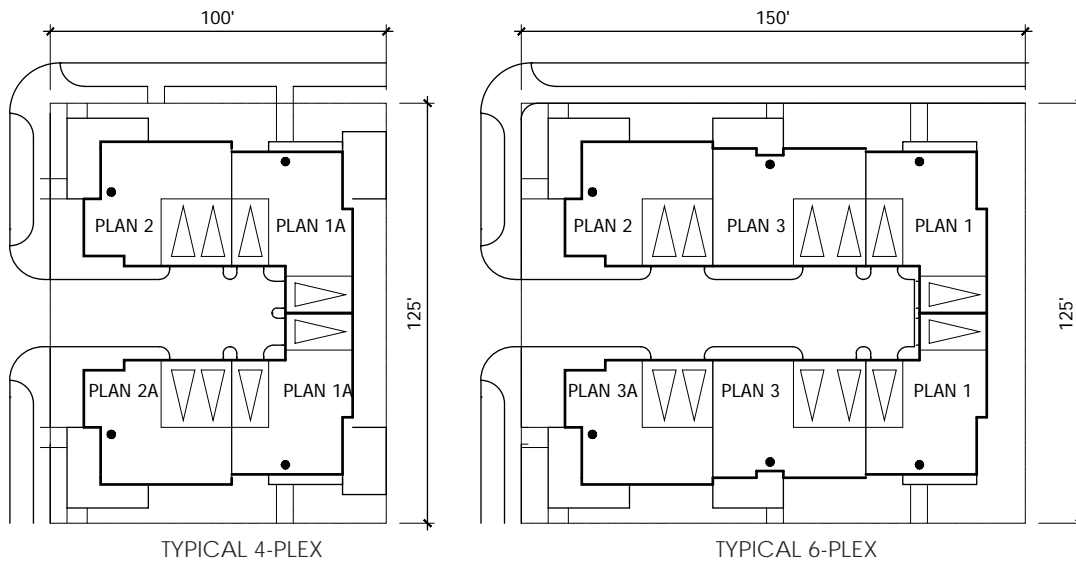
Architectural Styles

Varied styles (2) proposed per building plex. 3 floor plans anticipated



* Elevations are intended to reflect the intended floor plan.

COTTAGE HOMES B



Product Criteria

Building Types	3
Plan SF Range	950 – 1150 SF
Approximate Net Density	10 DU/Acre
Building Height	1 Story 25' Maximum
	All homes are 1 story
Parking	1 garage per 1 br unit 2 garages per 2/3 br units (1.75 covered parking ratio min.) 1 guest per unit on street parking
Patio/ Courtyard Area	Min. 150 SF / Unit
Porch Conditions	Min. 50% Front Porches

Setbacks

Front to Back of Sidewalks	8' Min. 10' Preferred
Side to Back of Sidewalks	8' Min. 10' Preferred
Between Buildings	
Side to Side	15' Min. 20' Preferred
Front to Front	25' Min.
Corner/ Street Side	10' Min.
Garage Setback (Apron)	3' min. 5' Maximum
	All Units are alley loaded

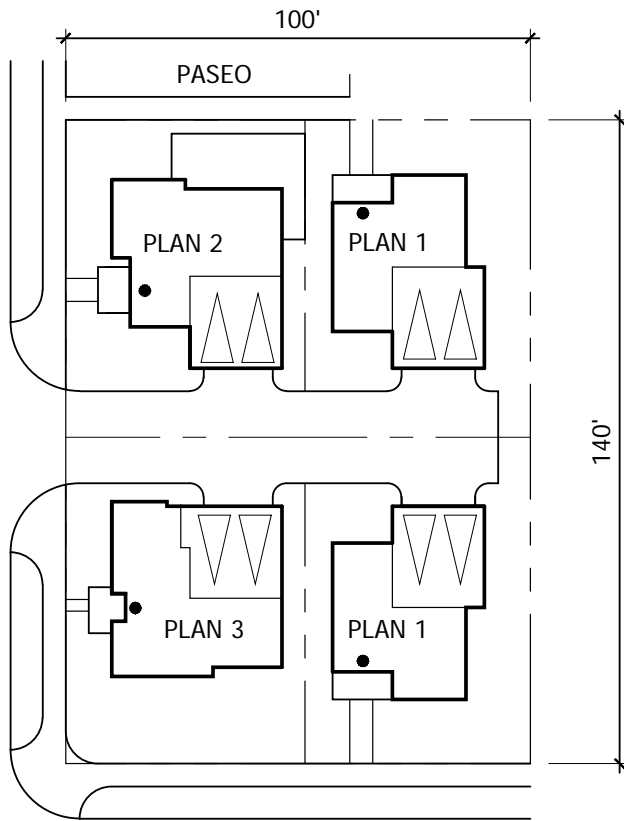
Architectural Styles

Varied styles (2) proposed per building plex. 3 floor plans anticipated



* Elevations are intended to reflect the intended floor plan.

PAIRED HOMES



TYPICAL 4-PLEX

Product Criteria

Lot Sizes	4 Plex	100' x 140'
	6 Plex	155' x 140'
Plan SF Range	1600 – 1800 SF	
Floor Plans	3	
Approximate Net Density	10 DU/Acre	
Building Height	2 Story 35' Maximum	
Parking	2 Attached Garages per Unit	
	1 guest per unit on street parking	
Patio/ Courtyard Area	Min. 300 SF / Unit	
Porch Conditions	Min. 67% Front Porches	

Setbacks

Front to Back of Sidewalks	10' Min.
Side to Back of Sidewalks	Building at 10' Min., Porch at 5' Min.
Between Buildings	
Side to Side	15' Min. 20' Preferred
Front to Front	30' Min.
Corner/ Street Side	10' Min.
Garage Setback (Apron)	3' min. 5' Maximum
	All Units are alley loaded

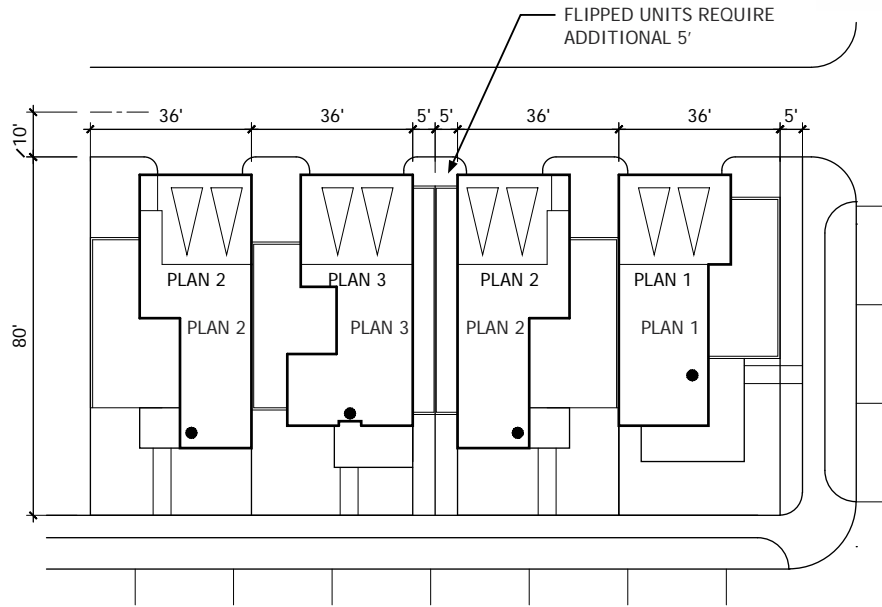
Architectural Styles

Varied styles (2) proposed per floor plan



* Elevations are intended to reflect the intended floor plan.

PATIO HOMES 36 X 90' LOTS



TYPICAL 4 LOT CONDITION

Product Criteria

Lot Sizes	36' x 90' Lots Min. (measured to CL of alley)
Plan SF Range	1800 – 2000 SF
Floor Plans	3
Approximate Net Density	9 DU/Acre
Building Height	2 Story 35' Maximum
Parking	2 Attached Garages per Unit 1 guest per unit on street parking
Patio/ Courtyard Area	Min. 500 SF / Unit
Porch Conditions	Min. 67% Porches

Setbacks

Front to Back of Sidewalks	12' Min. Porch setback 10' Min.
Side to Back of Sidewalks	8' Min. 10' Preferred
Between Buildings	10' Min. Zero Lot Line condition (w/ reciprocal use easement)
Corner/ Street Side	10' Min.
Garage Setback (Apron)	3' min. 5' Maximum
	All Units are alley loaded. Long driveways may allow alley parking if 18' or longer.

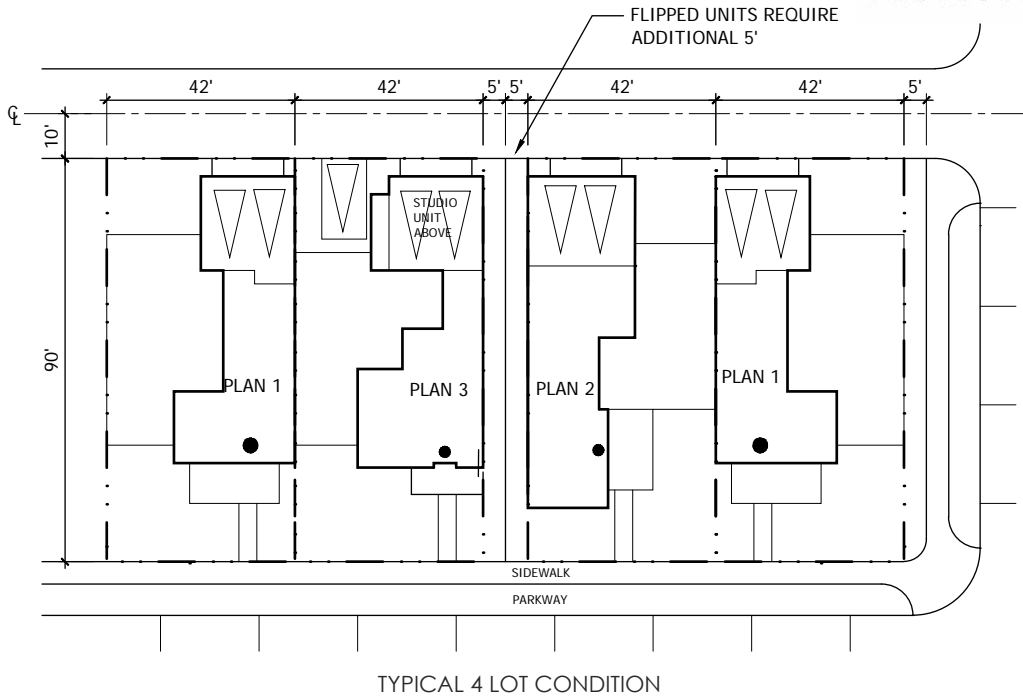
Architectural Styles

Varied styles (2-3) proposed per floor plan



* Elevations are intended to reflect the intended floor plan.

SFD 7 42 X 100' LOTS



Product Criteria

Lot Sizes	42' x 100' Lots Min. (measured to CL of alley)
Plan SF Range	1900 – 2300 SF
Floor Plans	3
Approximate Net Density	7 DU/Acre
Building Height	2 Story 35' Maximum
Parking	2 Attached Garages per Unit 1 guest per unit on street parking
Patio/ Courtyard Area	Min. 800 SF / Unit
Porch Conditions	Min. 67% Front Porches

Setbacks

Front to Back of Sidewalks	12' Min. Porch setback at 10'
Side to Back of Sidewalks	8' Min. 10' Preferred
Between Buildings	10' Min. Zero Lot Line condition allowed (w/ reciprocal use easement)
Corner/ Street Side	10' Min.
Garage Setback (Apron)	3' min. 5' Maximum
	All Units are alley loaded. Long driveways may allow alley parking if 18' or longer.

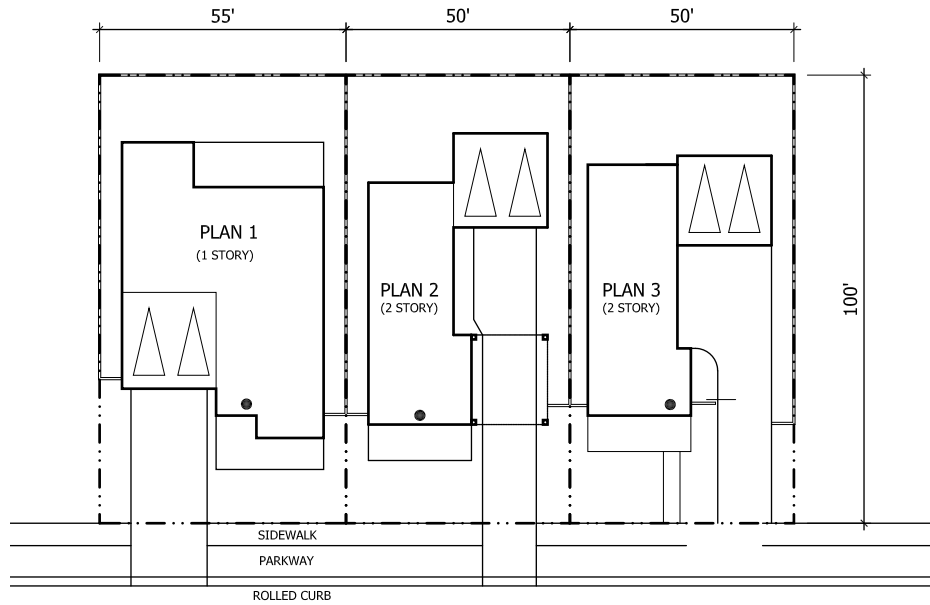
Architectural Styles

Varied styles (2) proposed per floor plan



* Elevations are intended to reflect the intended floor plan.

SFD 5 50/55 X 100' LOTS



Product Criteria

Lot Sizes (Variable)	50'/55' x 100' Lots Min. Approx. 1/2 of units to be 55' wide
Plan SF Range	2000 – 2600 SF (1 and 2 Story)
Floor Plans	4
Approximate Net Density	5-6 DU/Acre
Building Height	2 Story 35' Maximum
Parking	2 Attached Garages Min. per Unit 1 guest per unit on street parking
Yard/Patio Area	Min. 1000 SF / Unit
Porch Conditions	Min. 50% Front Porches

Setbacks

Front to Back of Sidewalks	12' Min.
Side to Back of Sidewalks	10' Min.
Rear Setbacks	15' Min., 20' preferred 10' Min. to rear garage
Between Buildings	10' Min.
Corner/ Street Side	12' Min.
Garage Setback	Garage setbacks are required to be behind front architecture a minimum of 10'. No side-on garages are allowed.

Architectural Styles

Varied styles (2) proposed per floorplan
Rear elevations to reflect enhanced conditions



* Elevations are intended to reflect the intended floor plan.

SECTION 4

ARCHITECTURAL PRINCIPLES AND CHARACTER



ARCHITECTURAL CHARACTER

Existing Development in Tehachapi has paid homage to Tehachapi's past architectural tradition and history. Future development in Tehachapi is envisioned to embrace its history and to embody Tehachapi's future through innovative design.

Appropriateness of Design

Many factors influence why some architectural styles, treatments and materials are appropriate for one place and not for another. The intent of the design criteria for this Master Plan is to guide the character and the quality of the architecture to create unique and distinct neighborhood place experiences. These criteria include written text for what is appropriate and inappropriate.

These Guidelines are flexible to encourage design creativity; however, there is an expectation that the developer will retain a qualified architectural firm with experience, executing on the desired architectural character exemplified in this document.



*Example photo for Design intent

MASSING AND SCALE

Proportions and placement of architectural forms and elements must be appropriately and authentically applied in a manner consistent with the historical architectural style being represented. Roof articulation in the form of proper roof pitches and forms also plays a significant role in the authenticity and diversity of the streetscape.

Massing

Massing must be appropriate and authentic to the architectural style (e.g., the Colonial Revival style has a front to back roof form with a symmetrical facade)

Horizontal and vertical articulation is required on all homes, as appropriate to each architectural style, and can be achieved through differing roof forms, combinations of one and two-story elements, architectural projections, porches etc.

Front porches must have a minimum depth of six (6') feet. 7' - 10' is preferred.



*Example photo for Design intent



SECTION 5

ARCHITECTURE STYLES



STYLE OVERVIEW

By employing an authentic architectural palette and creative site planning techniques, SAGE Ranch will be a neighborhood with a strong architectural identity and distinct character within the city of Tehachapi. Section 5 defines the design principles and development standards that apply to all residential developments within SAGE Ranch. The guidelines and standards articulate the lot characteristics, setbacks, garage type and orientation, as well as building massing. Furthermore, Section 5 includes a detailed architectural design guideline section, which identifies, defines and articulated the architectural styles that are deemed appropriate for SAGE Ranch.

Many factors influence why some architectural styles, treatments and materials are appropriate for one place and not another. The intent of the of the design criteria for SAGE Ranch is to guide the character and quality of the architecture to create a place and unique neighborhood experience. The criteria includes written text and imagery for what is appropriate and inappropriate. The imagery shown within this document is deemed appropriate, however, it is not a fully exhaustive list, but enough to encourage and direct innovative design solutions.

Design Principles

Diversity of Streetscape

An elegant and diverse streetscape is a defining characteristic of enduring landmark neighborhoods. Simple and elegant planning and design elements can change the essence of a community while maintaining an overall unified theme. The intent of this section is to articulate the standards and unique defining elements by which SAGE Ranch shall be built in order to create a cohesive and animated streetscape with a diverse character.



*Example photo for Design intent

ARCHITECTURAL GUIDELINES

The concept, inspiration and vision for SAGE Ranch is one of a distinctively California village with a unique and compelling design character, derived from successful landmark neighborhoods throughout California.

SAGE Ranch presents a cohesive collection of three architectural styles, which will create a diverse and eclectic streetscape through massing and form, material and color, as well as detailing.

The variety will of styles will animate and activate the streetscape, creating a dynamic and vibrant community palette.

Additional Architectural styles that are consistent with the neighborhood vision will be reviewed and approved by the SAGE Ranch Design Review Committee on a case by case basis.

Building materials selection, color, texture, orientation, placement and transitions within the composition of a facade enhance the individuality of buildings and the broader neighborhood. Materials and finishes should be of high quality, exhibiting innate qualities and detailed appropriately to withstand the climate and weather conditions of the area over its life cycle.

Architectural Palette:

COLONIAL REVIVAL

FARMHOUSE

TRADITIONAL



*Example photo for Design intent

COLONIAL REVIVAL

The characteristics of the Colonial Revival style are typically a rectangular mass, one-two-stories in height with a symmetrical facade. Roofs are steep-pitched, side gables with narrow eaves. Windows are multi-paned with well-proportioned shutters. The entrance is typically centered and accentuated with columns, pilasters, pediments etc. to create a covered porch. Brick, wood clapboard, and shingles are appropriate siding materials. The reason for the popularity of this style is the found in its classic, understated and timeless design.



*Example photo for Design intent

COLONIAL REVIVAL

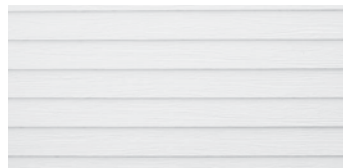
MASSING

The form shall be rectangular and one to two-stories in height with a symmetrical primary facade. The massing may use a combination of one and two-story forms.



FACADE TREATMENTS

Brick, siding and shingles or a combination thereof shall be the dominant material and included on all street facing or enhanced elevations. Material breaks shall not occur on exterior corners. The enhanced material needs to be wrapped back to terminate into an inside corner (5' min). Classic colonial paint colors include modest earth tone colors such as white, creamy yellow, almond, ochre, reddish brown, dark brown, beige, taupe and muted green



ACCENT COLORS

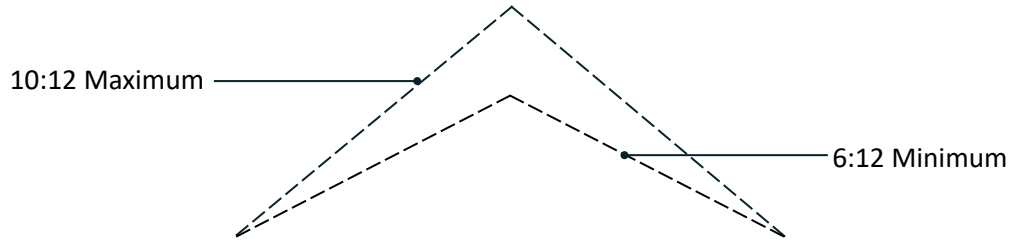
Selection of one or two secondary colors shall be harmonious with the exterior facade material and may be included on architectural features.



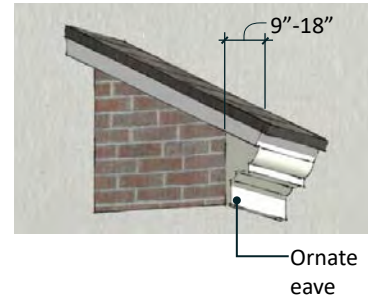
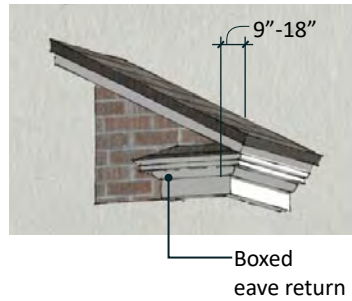
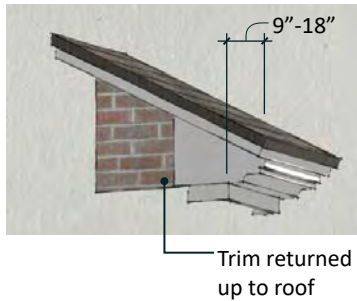
COLONIAL REVIVAL

ROOF

Roofs shall be steep-pitched with side gables and narrow eaves. An asphalt shingle roof is preferred.



Eave and rake style examples:



PORCHES

A fully covered porch shall be included at the entry door on the cottage homes, patio homes, and single family detached prototypes. Porches, overhangs, or awnings are preferred at the entries of the apartment/condominium or townhome prototypes. All trim shall be appropriate for the architectural style.

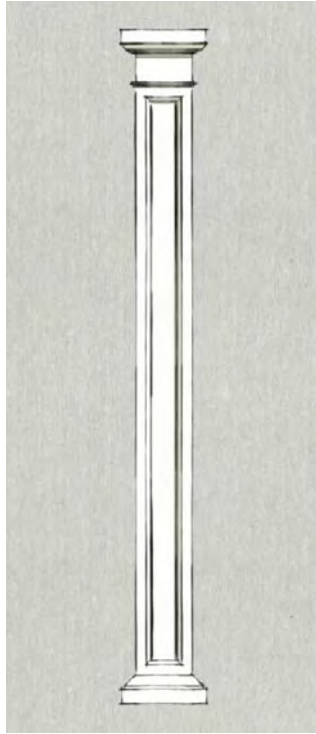


*Example photo for Design intent

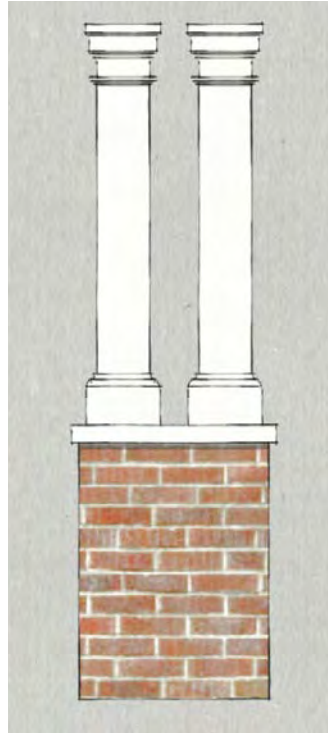
COLONIAL REVIVAL

COLUMNS

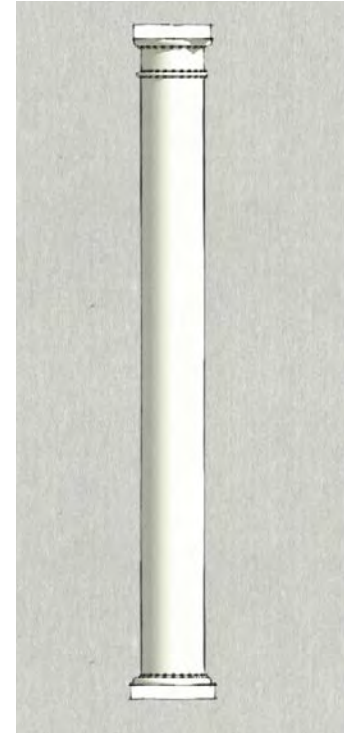
Columns shall be characteristic of the architectural style with a distinct base and cap. Double columns resting on a low wall are preferred. The columns may be shortened and placed on a larger base to integrate with a low wall. A column size of 8"x8" is preferred. Both square and round columns are permitted.



Decorative Square Column



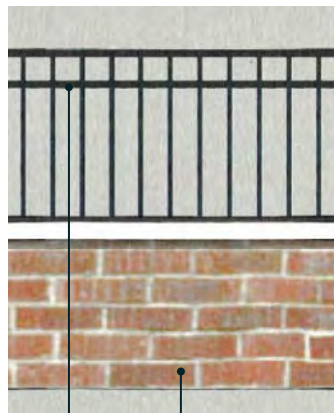
Double Column on Low Wall



Decorative Circular Column

LOW WALLS AND RAILINGS

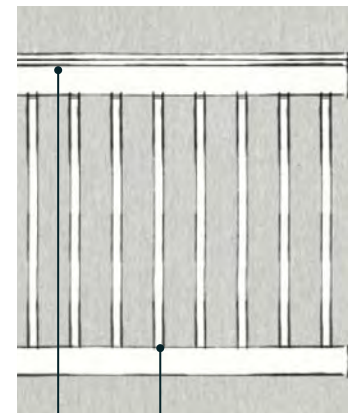
The porch shall be partially enclosed by a low wall, railing, or a combination thereof that is complimentary to the architectural style.



Low wall
Metal railing



Metal railing



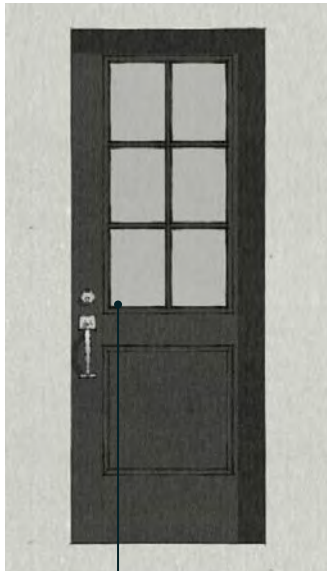
Wood railing
Decorative top rail

COLONIAL REVIVAL

ENTRY DOORS

*NOTE:
DIVIDED LIGHTS ARE
ENCOURAGED

Entry door style shall compliment the architectural character and include a full trim surround with a prominent header. Minimum trim width is 5 1/2".



Divided lights



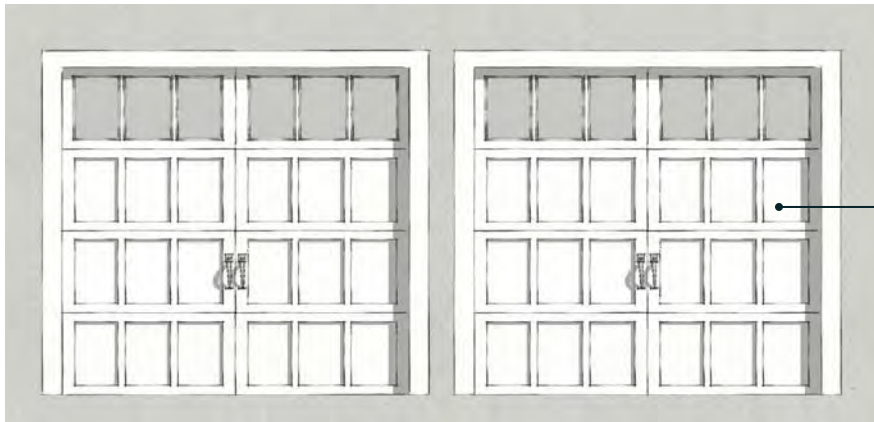
Recessed panel



Raised Panels

GARAGE DOORS

Garage doors shall differ per style.



Recessed panels



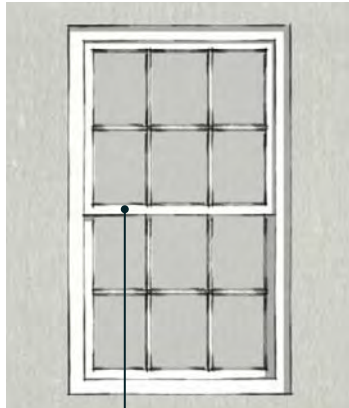
Divided Lights

Decorative metal accents

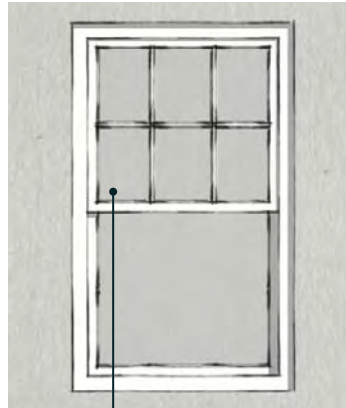
COLONIAL REVIVAL

WINDOWS

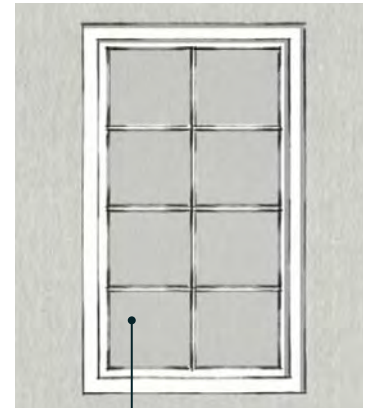
Windows shall have divided lights with a full trim surround and prominent header on street facing or enhanced elevations. Minimum trim width is 5 1/2".



Single-hung or double-hung window



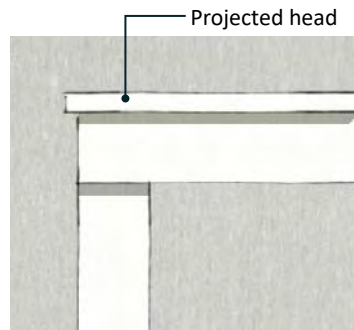
Divided lights



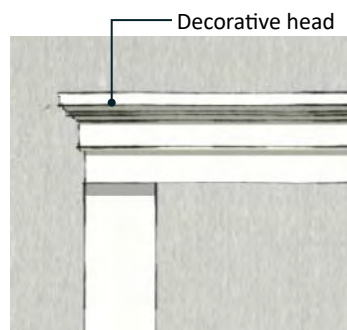
Fixed or casement

TRIM

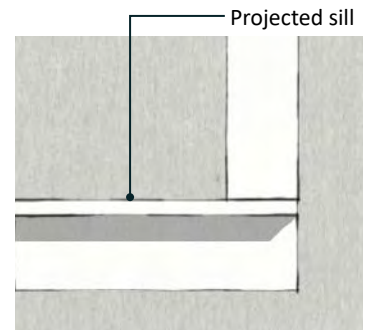
Trim proportions shall be consistent with the architectural character. Minimum trim width is 5 1/2".



Head/Jamb



Head/Jamb



Sill/Jamb

SHUTTERS

Shutters shall be style specific and placed on the **street facing elevations**. On enhanced/corner lot conditions, both street facing elevations are required to have shutters.

Where shutters are included on any style, each shutter shall be half the width of the window.



Louvered



Plank



Panel

COLONIAL REVIVAL

EXTERIOR LIGHTING

Exterior lights shall be unique and in accordance with each architectural style.



Style 'A'



Style 'B'



Style 'C'

*Example images for Design intent



*Example photo for Design intent

FARMHOUSE

The original Farmhomes were very simple houses, built in the early 1700's, and were highly influenced by the geographic locations, its people and its climate. Hallmark elements are simple metal, tile shake or composite shingle roof forms with intersecting gables, deep eaves, oversized grouped windows, oversized doors and functional front porches.

The (modern) Farmhouse style is known for its warmth and simplicity, characterized by natural textures and materials like wood or galvanized steel. Traditional materials include vertical or horizontal board and batten cladding, simple post and beam porches and sparingly used dormers.



*Example photo for Design intent

FARMHOUSE

MASSING

The form shall be rectangular and one to two-stories in height. The massing may use a combination of one and two-story forms.



FACADE TREATMENTS

Board and batten, vertical or horizontal siding or a combination thereof shall be used as the dominant material application, and be included on all street facing or enhanced elevations. The enhanced material needs to be wrapped back to terminate into an inside corner (5' min). Stucco color should closely match the color of the accent material.



ACCENT COLORS

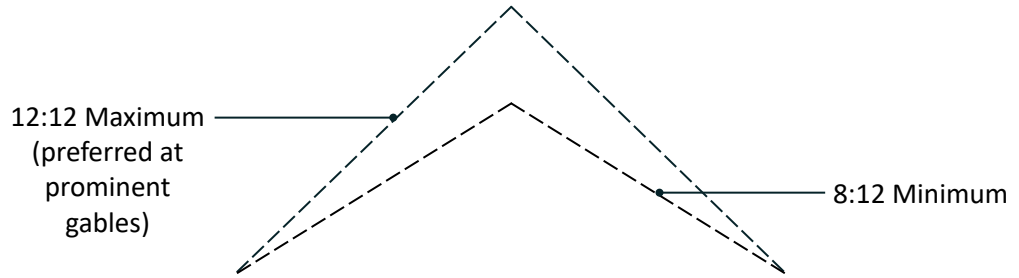
Selection of one or two secondary colors shall be harmonious with the exterior facade material and may be included on architectural features



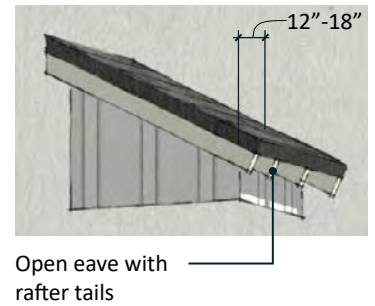
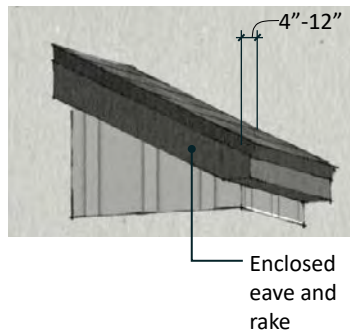
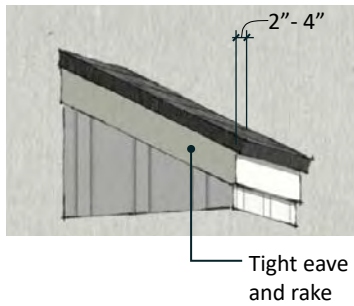
FARMHOUSE

ROOF

Roof forms shall be simple with intersecting gables. Dormers may be used sparingly. An asphalt shingle roof is preferred. The use of standing seam metal roofs is permitted.



Eave and rake style examples:



PORCHES

A fully covered, usable porch shall be included at the main entry doors of the Cottage homes, Patio homes, and Single Family detached homes. Porches, overhangs, or awnings are preferred at the entries of the apartment/condominium or townhome prototypes.

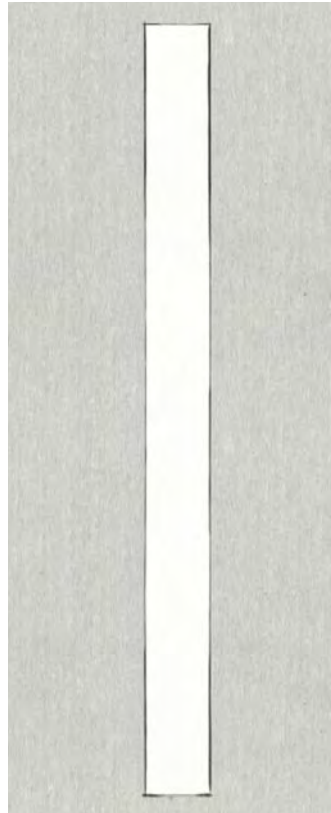


*Example photo for Design intent

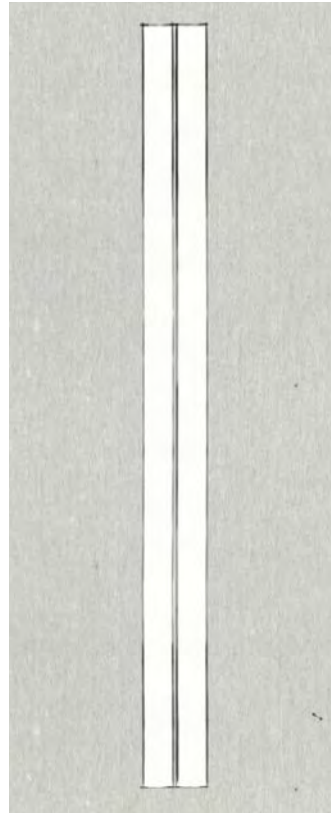
FARMHOUSE

COLUMNS

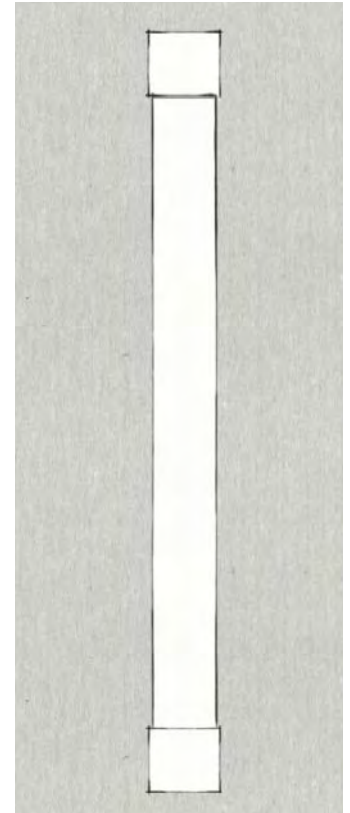
Columns shall be simple in style. Square 8"x8" columns preferred (min. size 6"x6") with either no or very simplified cap and base. No round columns are permitted.



Simple Square Column



Accented Square Column



Simple Square Column with Base and Cap

LOW WALLS AND RAILINGS

The porch shall be partially enclosed by a modest wood railings that are complimentary to the architectural style. Metal railing will not be allowed.



Plank railing



Accent open railing



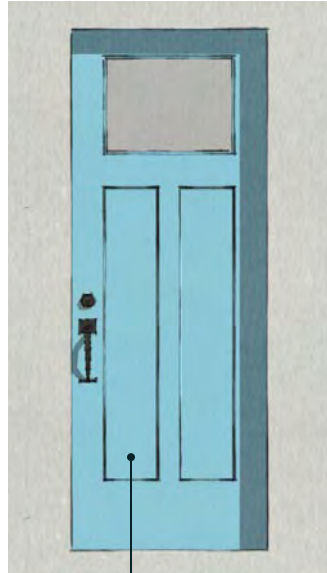
Simple open railing

FARMHOUSE

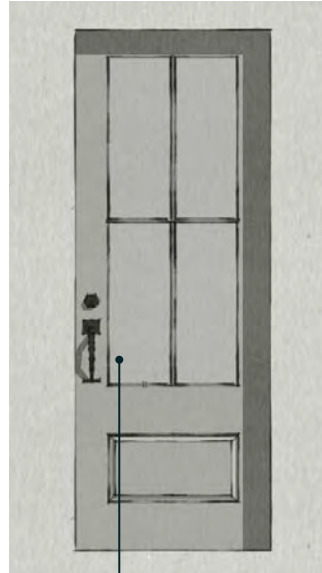
ENTRY DOORS

*NOTE:
DIVIDED LIGHTS ARE
ENCOURAGED

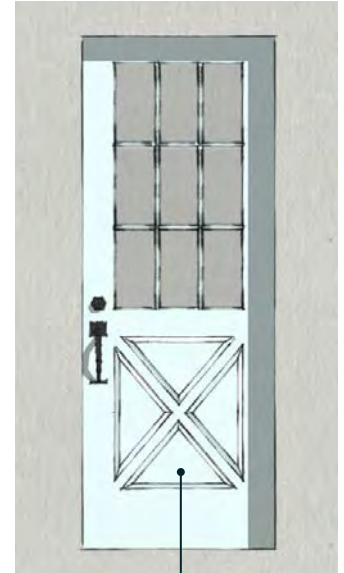
Entry door style shall compliment the architectural character and include a full trim surround. The integration of glass and divided lights are encouraged.



Recessed panels



Divided lights



Decorative panels

GARAGE DOORS STYLES

Garage doors shall differ per style and integration of divided lights are encouraged.



Decorative recessed panels



Divided lights

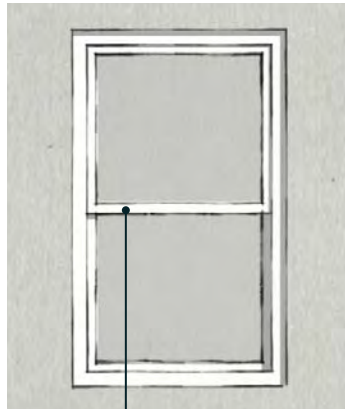
FARMHOUSE

WINDOWS STYLES

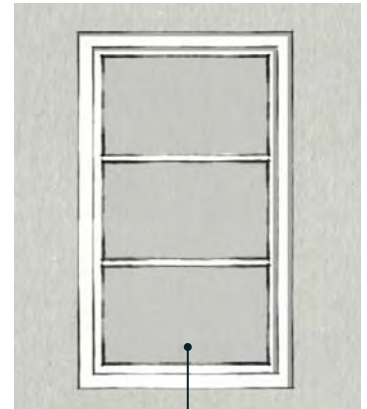
Windows shall have divided lights with a full trim surround on street facing or enhanced elevations. Minimum trim width is 3 1/2".



Divided lights



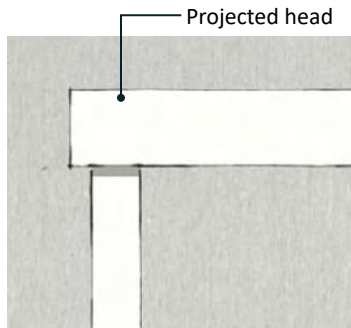
Single-hung or double-hung window



Fixed or casement window

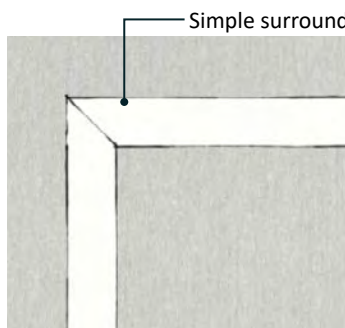
TRIM

Trim proportions shall be consistent with the architectural character. Minimum trim width is 3 1/2".



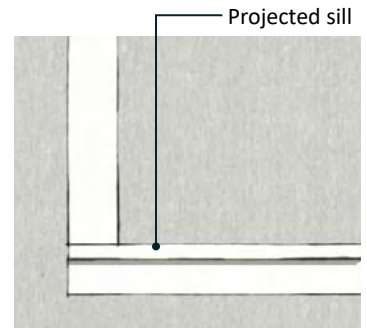
Projected head

Head/Jamb



Simple surround

Head/Jamb



Projected sill

Sill/Jamb

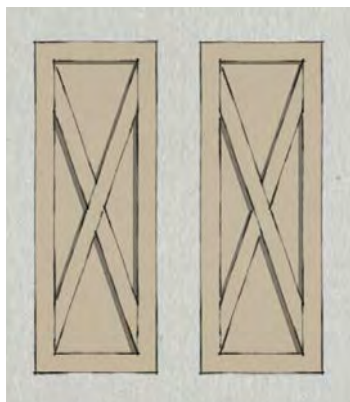
SHUTTERS

Shutters shall be style specific and placed on the **street facing elevations**. On enhanced/corner lot conditions, both street facing elevations are required to have shutters.

Where shutters are included on any style, each shutter shall be half the width of the window.



Plank



Decorative Panel



Simple Panel

FARMHOUSE

EXTERIOR LIGHTING

Exterior lights shall be unique and in accordance with each architectural style.



Style 'A'



Style 'B'



Style 'C'

*Example images for Design intent



*Example photo for Design intent

TRADITIONAL

The Traditional (American) homes are fairly simple, rectangular, and typical one and two-story homes, and are characterized by side-gable roofs, boxed-eave returns, and large front porches. Traditionally built with wood and a central fireplace, or fireplaces at both ends of the house. Facade treatments include the use of brick, wood shingles, horizontal or vertical siding, plaster or stone.

Classical paint colors include modest earth tones, such as white, creamy yellow, almond, dark brown, taupe and muted green.



*Example photo for Design intent

TRADITIONAL

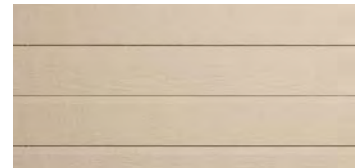
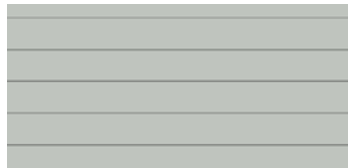
MASSING

The form should be a simple, rectangular, one or two-story home. The massing may use a combination of one and two-story forms.



FACADE TREATMENTS

Horizontal or vertical siding, shingles, or any combination thereof are required to be the dominant material and need to be included on all street facing or enhanced elevations. The enhanced material needs to be wrapped back to terminate into an inside corner (5' min). Sparingly used stone is permitted. Material breaks shall not occur on exterior corners. Stucco color should closely match the color of the accent material.



ACCENT COLORS

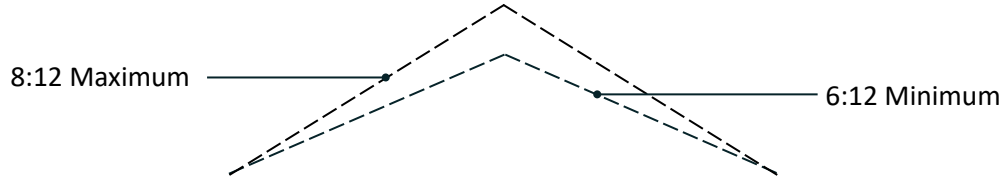
Selection of one or two secondary colors shall be harmonious with the exterior facade material and may be included on architectural features. Modest earth tones are preferred.



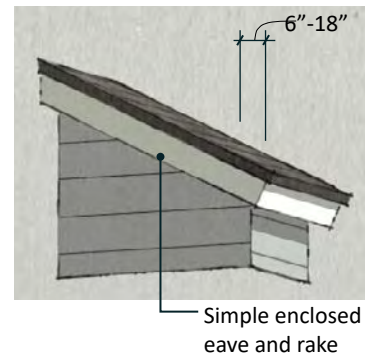
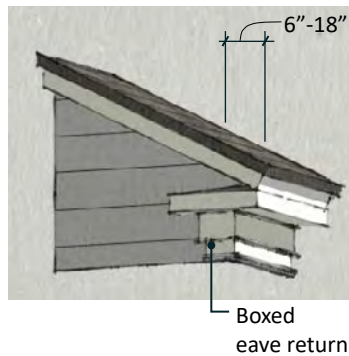
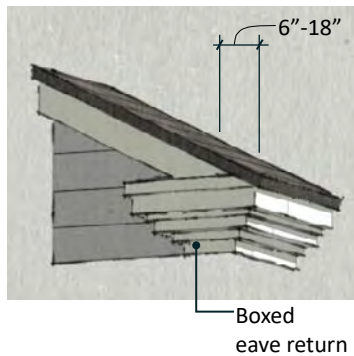
TRADITIONAL

ROOF

The roof shall be a medium, side-gable roof with a unique eave treatment such as the boxed-eave return. An asphalt shingle roof is preferred.



Eave and rake style examples:



PORCHES

A fully covered porch shall be included at the entry door on the cottage homes, patio homes, and single family detached prototypes. Porches, overhangs, or awnings will be required at the entries of the apartment/condominium or townhome prototypes. All trim shall be in accordance with the architectural style.

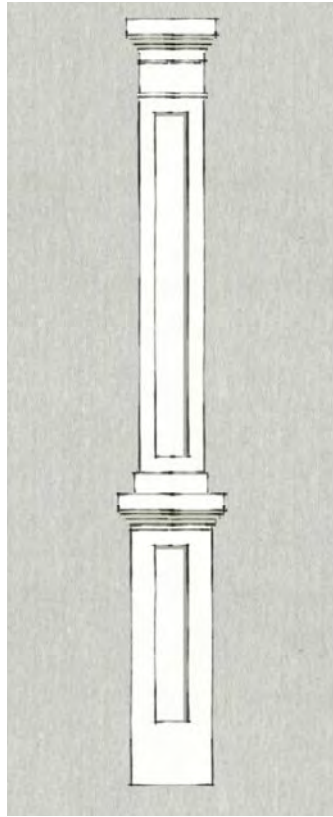


*Example photo for Design intent

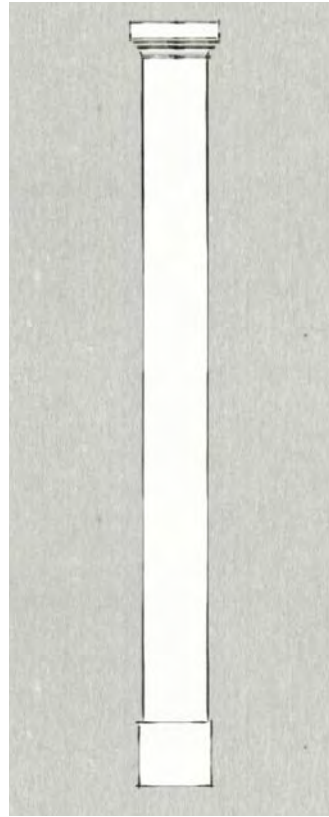
TRADITIONAL

COLUMNS

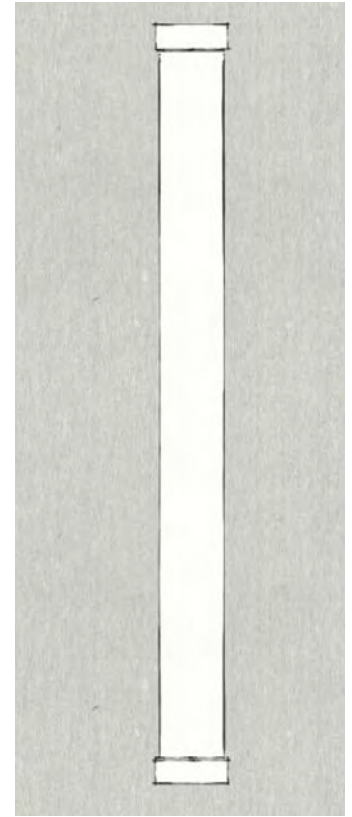
Columns shall be characteristic of the architectural style with a cap and base. Square 8"x8" columns are preferred.



Decorative Square Column



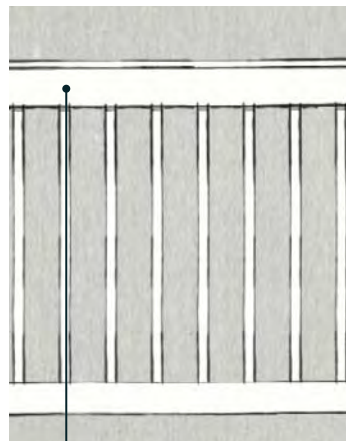
Square Column with Decorative Cap



Simple Square Column

LOW WALLS AND RAILINGS

The porch shall be partially enclosed by a modest railing that is complimentary to the architectural style.



Decorative top rail



Simple railing



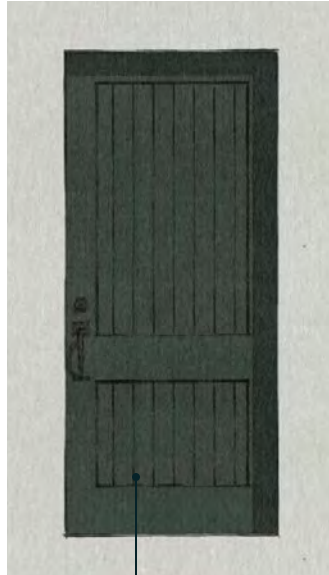
Double top rail

TRADITIONAL

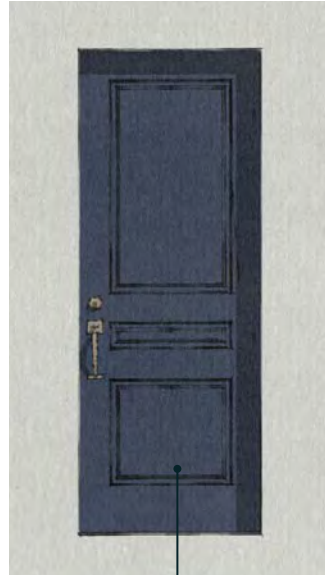
ENTRY DOORS STYLES

*NOTE:
IF NO DIVIDED LIGHTS
ARE PROVIDED,
SIDE WINDOWS
ARE ENCOURAGED.

Entry door style shall compliment the architectural character and include a full trim surround. Minimum trim width is 5 1/2".



Recessed panels



Decorative panels



Raised panels

GARAGE DOORS STYLES

Garage doors shall differ per style.



Decorative recessed panels



Glazing

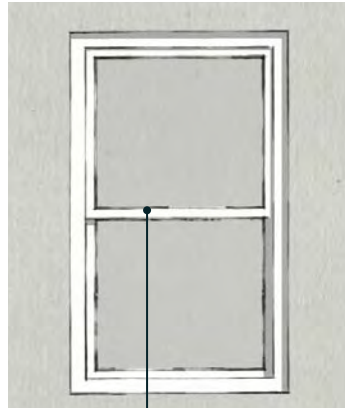
TRADITIONAL

WINDOWS STYLES

Windows shall have divided lights with a full trim surround on street facing or enhanced elevations. Minimum trim width is 5 1/2".



Divided lights



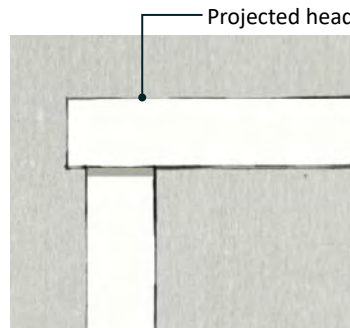
Single-hung or
double-hung
window



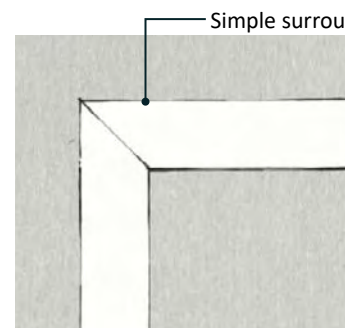
Fixed or
casement
window

TRIM

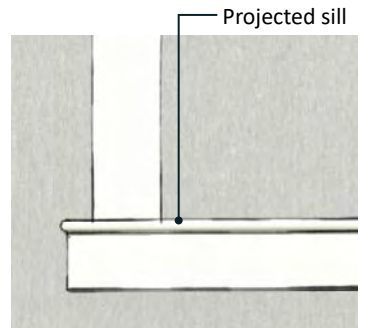
Trim proportions shall be consistent with the architectural character with a prominent sill at windows and prominent header at entry doors. Minimum trim width is 5 1/2".



Head/Jamb



Head/Jamb



Sill/Jamb

SHUTTERS

Shutters shall be style specific and placed on the **street facing elevations**. On enhanced/corner lot conditions, both street facing elevations are required to have shutters.

Where shutters are included on any style, each shutter shall be half the width of the window.



Plank



Three Panel



Two Panel

TRADITIONAL

EXTERIOR LIGHTING

Exterior lights shall be unique and in accordance with each architectural style.



Style 'A'



Style 'B'



Style 'C'

*Example images for Design intent



*Example photo for Design intent

SECTION 6

LANDSCAPE DESIGN



LANDSCAPE DESIGN GUIDELINES

The following notes and reference are intended to be a supplemental guide to the City of Tehachapi Landscape Design Guidelines dated July 2016. These City guidelines present the Purpose, Objectives, Requirements and Standards for the general implementation of Landscaping at Sage Ranch. Issues related to Sustainable Guidelines as well as criteria related to Plant Selection, Turfgrass/Lawn, Parking Lot Landscaping, Irrigation and Water Conservation, Maintenance, Neighborhood Entries and Screening and Buffer Guidelines are suggested. Specific guidelines related to Single Family and Multi-Family Residential are also suggested.

Single Family Residential criteria are suggested for the following

SFD 5	50'/55' Single Family Lots	SFD 7 - 42' x 100' Lots
Patio Homes	36' x 90' Lots	Paired Homes

Multi-Family Residential Criteria are suggested for the following:

Townhomes	Cottage Homes A
Cottage Homes B	Apartments

Criteria related to Commercial and Industrial Landscape Guidelines are not applicable.

The City Master Plant List (Appendix A) is intended as a general guide to suitable plant species. Should other species be proposed they will require review and approval of both the City and the DRC.

The following additional Guideline Objectives not listed in the City Guidelines are also suggested and shall be reviewed and approved by the DRC.

1. Tree spacing shall be on an average 30' on-center spacing (25' preferred). Where the 30' spacing can not be achieved due to driveway conditions, the average tree amount planted shall comply with the 30' quantity totals, and trees will be planted in appropriate areas on same streets.
2. Alleys shall have tree spacing (appropriate type and scale) at quantity of 1 tree per residential unit. Garage Vines along garage walls adjacent to garage doors are also encouraged.

In lieu of specific guideline criteria suggested by the City guidelines the following are suggested:

3. Site drainage is channeled from south to northwest to a low point detention basin that also doubles as recreation fields. Client has made a commitment to extend storm water drainage piping from Valley Blvd to the existing Tehachapi Boulevard Storm Drain lines which outlet at Tehachapi Creek. These provisions will be in lieu of suggested bio-swales, sub-surface infiltration and water storage or drainage chimneys/wells.
4. The Master Plan reflects a .4acre Neighborhood Park that serves as a Community Garden. This garden will be allocated for residential use but will be HOA maintained. Shade Structures and Storage shelters are also proposed. This garden park is proposed in lieu of any requirements for Multi-Family parcel community garden requirements.
5. The use of root barriers for trees will be determined on a case by case basis in relation to the root evasiveness or scale of the trees proposed. Not all trees shall require root barriers. The proposed 7' wide street parkways are intended to accommodate most tree species growth.
6. Weed Control fabric is proposed in limited conditions only to minimize weed intrusion; such as at DG paving areas and specific planter areas. It is not suggested for use in all planted areas except turf.



Appendix E – City of Tehachapi Ordinance No. 21-04-762

ORDINANCE NO. 21-04-762

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF
TEHACHAPI APPROVING PLANNED DEVELOPMENT NO. 2019-01
(SAGE RANCH) SUBJECT TO CONDITIONS OF APPROVAL**

THE CITY COUNCIL OF THE CITY OF TEHACHAPI DOES ORDAIN AS FOLLOWS:

Section 1. RECITALS.

WHEREAS, the applicant, Greenbriar Capital Corporation, filed an application with the City of Tehachapi (the "City") for a Planned Development seeking approval to construct 995 single and multi-family residential homes on Planned Development (PD) zoned lots with recreational amenities on approximately 138 acres (sometimes, the "Project" or "Planned Development No. 2019-01"); and

WHEREAS, on July 12, 2021, the Planning Commission held a noticed public hearing on the Project, considered all public testimony as well as all materials in the staff report and accompanying documents for Planned Development No. 2019-01, Sage Ranch, which hearing was publicly noticed by an agenda posting and by written notice to persons requesting public notice; and

WHEREAS, subject to findings and conditions of approval made by the Planning Commission, the Planning Commission recommended to the City Council that it approve the Project.

Section 2. FINDINGS.

A. The City Council of the City of Tehachapi incorporates herein the findings of the Planning Commission and makes the additional following findings in support of this Ordinance:

1. The location and design of the proposed development is consistent with the goals and policies of the General Plan and with any other applicable official plan or policy adopted by the City Council, or in the process of being prepared and adopted.

2. The proposed location allows the development to be well integrated with its surroundings.
3. All vehicular traffic generated by the development will be accommodated safely and without causing any undue congestion on adjoining streets.
4. The proposed location and design allows residents and business establishments to be adequately serviced by existing or proposed public facilities and services.
5. Suitable areas for schools, parks, playgrounds, pedestrian ways, or public open spaces will be dedicated for public use, or reserved by deed covenant for the common use of all residents, establishments or operations in the development.
6. The overall design of the proposed planned development will produce an attractive, healthful, efficient and stable environment for living, shopping or working.
7. The development will be integrated with its setting, will not require earthmoving or grading that would destroy desirable natural features and will not be visually obstructive or disharmonious with surrounding areas and facilities.
8. The uses proposed have a beneficial effect not obtainable under other existing zoning regulations. Any departures from other ordinance requirements are warranted by the design and amenities incorporated in the master development plan, in accord with the adopted policies of the Planning Commission and the City Council.
9. Each individual unit of development, and the total development, can exist as an independent unit capable of creating an environment of sustained desirability and stability.
10. This project meets the minimum applicable requirements of the Tehachapi Zoning Code and is in compliance with all other applicable laws, ordinances, and regulations of the City of Tehachapi and the State of California.

B. The City Council has certified an environmental impact report for the

Project (the "EIR") and Tentative Tract Map No.7366 (the "TTM 7366").

Section 3. APPROVAL.

The City Council of the City of Tehachapi, after making the Findings described in Section 2 of this Ordinance and approval of the EIR and TTM 7366, and following a duly noticed public hearing, after considering all public testimony as well as all materials in the staff report and accompanying documents, hereby approves Planned Development No. 2019-01, Sage Ranch at

Tehachapi, subject to the conditions of approval attached hereto as Exhibit "A" and by this reference made a part hereof.

Section 4. SEVERABILITY.

Each of the provisions of this Ordinance are severable. If any provision shall be declared to be invalid, the remaining provisions shall not be affected thereby but shall remain in full force and effect.

Section 5. EFFECTIVE DATE.

This Ordinance shall take effect thirty (30) days after the date of its adoption and prior to the expiration of fifteen (15) days from the passage thereof shall be published in the manner authorized by law in the Tehachapi News, a newspaper of general circulation, published and printed in the City of Tehachapi.

INTRODUCED at a regular meeting of the City Council of the City of Tehachapi, California on the 16TH day of August, 2021.

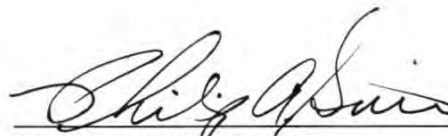
PASSED AND ADOPTED at a regular meeting of the City Council of the City of Tehachapi, California on the 7TH day of September, 2021, by the following vote:

AYES: SMITH, WIGGINS, POGON-CORD

NOES: NONE

ABSTAIN: SCRIVNER

ABSENT: DAVIES



PHILIP A. SMITH, Mayor of
the City of Tehachapi, California

ATTEST:

Tori Marsh

TORI MARSH, CMC, City Clerk
of the City of Tehachapi, California

I hereby certify that the foregoing Ordinance was duly and regularly adopted by the City Council of the City of Tehachapi at a regular meeting thereof held on September 7, 2021.

Tori Marsh

TORI MARSH, CMC, City Clerk
of the City of Tehachapi, California

Published: Tehachapi News September 15, 2021

EXHIBIT "A"
[Conditions of Approval]

Statutory Conditions of Approval

1. The project approval is conditional and shall be valid for the period identified in the Planned Development process of the Tehachapi Zoning Code, Section 3.30.160(J)(1).
2. All contractors and/or subcontractors shall be required to procure a business license prior to commencement of any work on the subject development.
3. Permits and approvals must be obtained from other governmental agencies (i.e. Kern County Environmental Health, Kern County Fire Department, Caltrans, etc.) for this project. It is the responsibility of the developer to seek and receive said permits/approvals prior to the start of any component of the work requiring said approval. The City reserves the right to withhold its approval of this project if the developer fails to receive necessary and related approvals from other agencies.
4. The Developer shall comply with any and all mitigation measures contained in the final approved environmental document.
5. The developer/applicant shall indemnify, protect, defend, and hold harmless, the City and any agency or instrumentality thereof, and/or any of its officers, employees and agents (collectively the "City") from any and all claims, actions, demands, and liabilities arising or alleged to arise as the results of the developer's performance or failure to perform under this Planned Development 2019-01 or the City's approval thereof, or from any proceeding against or brought against the City, or any agency or instrumentality thereof, or any of their officers, employees and agents, to attack, set aside, void, annul, or seek monetary damages resulting from an action by the City or any agency or instrumentality therefor, advisory agency, appeal board or legislative body including actions approved by the voters of the City, concerning Planned Development 2019-01.
6. All public improvements shall be constructed in a manner that does not damage existing public improvements. Any damage shall be determined by and corrected to the satisfaction of the City Engineer.

Design Conditions of Approval

General:

7. All above-ground utilities within the boundary of the project (including ½ width of all adjacent public roads) shall be placed underground at the Developer's expense.

Grading:

8. A site grading and erosion control plan shall be approved by the City Engineer. The first submittal of the grading plan shall be accompanied by three (3) copies of the soils/geotechnical report. The soils engineer will be required to indicate in the soils report that he/she has reviewed the grading design and found it to be in conformance with his/her recommendations.
9. The Developer shall obtain and maintain an active National Pollutant Discharge Elimination System (NPDES) permit for the duration of the project. Erosion control, including riprap, interim slope planting, sandbags, or other erosion control measures shall be provided to control sediment and silt from the project. The developer shall be responsible for maintaining all erosion control facilities throughout the project.
10. Lot drainage shall meet the requirements of current Tehachapi Design Standards and the City Engineer.
11. All existing wells shall be abandoned and capped, and all existing septic tanks shall be pumped and abandoned, per the Kern County Environmental Health Department requirements.
12. All lot lines shall be located at the top of slope unless otherwise approved by the City Engineer.
13. Mass grading of the entire site at one time shall not be permitted. The developer shall be permitted to submit a preliminary grading plan for the entire site and seek a permit for each phase, plus a designated buffer, thereafter.

Drainage:

14. The Developer shall generate a hydrology and hydraulics report in accordance with City Standards. This report shall be submitted to the City Engineer for review and approval. The developer is conditioned to construct the improvements included in the approved report.

Tehachapi Cummings Water:

15. The HOA shall enter into an agreement with the City for the use of Tehachapi Cummings Water District irrigation water for irrigation of the park spaces.
16. The developer is required to construct water mains and a separate irrigation systems for the major common areas, street medians and parkways that can use either potable or reclaimed water. This system should be built to the satisfaction of the City Engineer and shall be consistent with Ordinance No. 99-09-651. The constructed system shall be designed to accommodate the ready switch from

TCCWD irrigation water to City potable water in years in which TCCWD water is unavailable.

17. Tehachapi Cummings water shall not be available to individual lots and homes.

Sewer:

18. The Developer shall reimburse the City of Tehachapi for the cost to engage a reputable firm to analyze the development in a targeted sewer hydraulic model review. The purpose of the analysis shall be to consider the effects of the development on the City's sewer collection system and shall be reviewed by the developer's engineer before any recommendations of necessary improvements are finalized. If the analysis identifies specific downstream improvements needed to accommodate development, said improvements shall become a Condition of Approval for the project. If said improvements are covered by a City connection/mitigation fee, the developer shall construct the improvement in lieu of paying the fee. The City shall credit the Developer for the cost of improvement(s) and the credit shall be drawn down immediately following construction completion on a lot-by-lot basis with the City waiving the corresponding per lot connection/mitigation fee until the credit is exhausted.

19. All sewer main locations and sizing of mains shall be constructed to the satisfaction of the City Engineer in accordance with City Development Standards. Required sewer main improvements include, but are not limited to, the construction of the following:

- a. Onsite eight-inch sewer mains to service all proposed lots within the subdivision.
- b. A sewer main, no less than 8" in diameter, shall be installed along the entire frontage of Valley Boulevard. The size and direction of the sewer main shall be determined in the targeted sewer hydraulic model noted above.
- c. A sewer main, no less than 8" in diameter, shall be installed along the entire project frontage of Pinon Street. The size and direction of the sewer main shall be determined in the targeted sewer hydraulic model noted above.

Water:

20. The Developer shall reimburse the City of Tehachapi for the cost of analyzing the development in a targeted water hydraulic model review. The purpose of the analysis shall be to consider the effects of the development on the City's water distribution system and to recommend any necessary improvements. If the analysis identifies specific improvements needed to accommodate development, said improvements shall become a Condition of Approval for the project. If said

improvements are covered by a City connection/mitigation fee, the developer shall construct the improvement in lieu of paying the fee.

21. Fire hydrant spacing and location must be approved by the Fire Department. The required flowrates and pressures will be analyzed in the water model noted above.
22. The Developer shall construct a 12-inch water main on Valley Boulevard from the northwest corner of the project (connecting to the existing main in this location) running east to Dennison Road.
23. The Developer shall construct a 10-inch water main on Pinon Street from the northeast corner of Tract 6062 (Heritage Oaks) east to Dennison Road (connecting to the existing main in this location).
24. Since a City water pressure zone boundary currently exists at Pinon Street (running east-west), the Developer may be required to install one or more pressure reducing stations along Pinon Street where main lines are connected to the Pinon Street pipeline to service the development. The Developer shall construct said stations.
25. The Developer shall abandon the dual 8-inch water transmission mains, including the White Oak Booster Pump Station between the City's water tank site located at the intersection of Curry Street and Manzanita Streets and the Snyder and Dennison water wells. These wells are located at the intersections of Snyder / D and Dennison / Anita, respectively. This abandonment shall be complete within the boundaries of this development and selective outside the development at the direction of the City Engineer. The Developer shall construct the City-designed replacement Water Transmission Main Project. The portions of the Water Transmission Main Project which lie within the boundary of the development shall be constructed by the Developer at his sole expense. The portions of the project lying outside the boundaries of the development shall be reimbursed to the Developer by the City of Tehachapi. The reimbursement value shall be agreed upon prior to the start of construction and based upon mutually acceptable construction values. The City shall waive water connection fees on a lot-by-lot basis once the improvements are complete until the reimbursement is complete. Furthermore, the Developer shall affect the proper vacation of all easements deemed unnecessary as a result of this action.

Street Improvements and Traffic Mitigation:

26. Full width street improvements are required along the entire frontage of the subject site. These improvements include, but are not limited to, pavement, curb, gutter, sidewalk, street lights, landscaping, signage, and striping.

27. Public street improvements shall be constructed to the satisfaction of the City Engineer in accordance with City Development Standards as required by the Subdivision Ordinance in effect at the time of construction. Specific details, including final street improvement widths, right-of-way widths, concrete curbs and gutters, drainage, lighting, etc., shall be resolved in accordance with City Development Standards to the satisfaction of the City Engineer.
28. The address of each lot/dwelling unit shall be posted in such a manner that the address is visible from the street. In both cases, the address shall be placed in a manner and location approved by the City Engineer and acceptable to Kern County Fire.
29. The developer will be required to provide a detailed detour and traffic control plan, for all construction within existing rights-of-way, to the satisfaction of the City Engineer. This plan shall be approved prior to the issuance of an Encroachment Permit for construction within any public right-of-way.
30. The developer's engineer shall prepare a complete signage and striping plan for all improved roadways. Any removal of existing striping shall be at the expense of the developer as needed to construct improvements shown on the final plan.
31. All paved traffic surfaces adjacent to or near the project that are to receive a changing traffic index shall be improved to accommodate the increased traffic impact.
32. A wall mounted illuminated address for the Homeowner's Association controlled buildings are required to assist public safety providers.
33. Valley Boulevard – The Developer shall improve ½ width improvements plus 10' as depicted on the approved Final Master Development Plan along the entire frontage of the project. The Developer is required to construct a landscaped median and sufficient paving north of the median to provide for equivalent traffic capacity as it relates to the existing roadway.
34. Pinon Street – The Developer shall improve ½ width improvements plus 10' as depicted on the approved Final Master Development Plan along the entire frontage of the project. The Developer is required to construct a landscaped median and sufficient paving south of the median to provide for equivalent traffic capacity as it relates to the existing roadway.
35. Traffic Mitigation
 - a. The Developer shall provide an equitable share payment for the following traffic improvements included in the Tehachapi Region Transportation Impact

Fee Program ("TIF") and identified in the Final Environmental Impact Report (FEIR). The equitable share payments shall be based upon the percentages captured in the FEIR as applied to the estimated cost for each improvement project set forth in the TIF and shall be made in four even installments prior to the recordation of the final tract map for Phases 1, 2a, 2b & 3:

- i. The construction of a traffic signal at the intersection of Tehachapi Boulevard and Curry Street.
 - ii. The construction of a traffic signal at the intersection of Tehachapi Boulevard and Green Street.
 - iii. The construction of a traffic signal at the intersection of Tehachapi Boulevard and Snyder Avenue.
 - iv. The construction of a signal at the intersection of Highline Road and Dennison Road.
 - v. The construction of a traffic signal at the intersection of Curry Street and Highline Road.
- b. The Developer shall construct the following improvements as provided in the Traffic Impact Study identified in the Final Environmental Impact Report (FEIR).
- i. The Developer shall construct a full width roundabout at the intersection of Valley Boulevard and Snyder Avenue in accordance with the City Development Standards. The Developer shall complete the construction of the roundabout in connection with completing the public improvements associated with Phase 2b or at any time prior to recording the final map for Phase 2b as determined by Developer in its sole discretion. The Developer shall be responsible for its equitable share (as determined in the TIF) of the estimated cost of constructing a traffic signal at Valley Boulevard and Snyder Avenue as contained in the TIF (TIF Project No. 54). The City of Tehachapi shall credit the Developer with the amount equal to the difference between the total cost of constructing the roundabout and its equitable share payment. Said credit shall be provided by the City upon completion of the improvement and shall be drawn down on a lot-by-lot basis with the City waiving the corresponding per-lot traffic mitigation fee until the credit is exhausted. The Developer shall commence design of the roundabout within 90 days of adoption of these Conditions and shall work with the City Engineer to identify the necessary additional right-of-way within 90 days of the commencement of the design. The Developer shall immediately commence a good-faith effort to obtain the necessary right-of-way. The Developer shall be deemed to have made a good-faith attempt at acquiring the necessary right-of-way if the Developer extends a written offer to the property owner in an amount equal to 115% of the appraised value of the property to be acquired and the property owner either rejects or fails to respond to

said offer within 45 days. At such time, the City, at its sole discretion, shall either initiate proceedings to obtain the necessary right-of-way or allow a different, but equivalent traffic control device to be constructed in this location.

- ii. The Developer shall construct a traffic signal at the intersection of Valley Boulevard and Dennison Road as part of the public improvements required in Phase 2b of the project, in accordance with City Development Standard in effect at the time of the final map approval. The City of Tehachapi shall credit the Developer with the value of the improvement once the improvement is complete. The credit shall be drawn down on a lot-by-lot basis with the City waiving the corresponding per-lot traffic mitigation fee until the credit is exhausted.
- c. Additionally, the Developer shall be responsible for paying its equitable share of the cost of the following improvements as referenced Table 3.17-12 in the FEIR. The equitable share percentage dictated by the Traffic Study contained in the FEIR shall be applied to the cost estimate for said improvements, as prepared by the Developer and approved by the City Engineer. The cost estimates shall be based on the anticipated expense for the City to construct the subject improvement. The fair-share payments shall be made in four even installments prior to the recordation of the final tract map for Phases 1, 2a, 2b, & 3.
- i. The widening improvements to the intersection of Tucker Road and Valley Boulevard as contained in the FEIR.
 - ii. The construction of an All Way Stop (AWS) and striped right turn lane at the intersection of Tehachapi Boulevard and Snyder Avenue.
36. Interior Streets – the Developer shall construct full width improvements for all interior streets as depicted in the Final Master Development Plan.

Homeowner's Association:

37. The Developer shall affect the creation of a Homeowner's Association (HOA) for the Sage Ranch project. The HOA shall have the following responsibilities:
- a. The HOA shall permanently maintain and operate all landscaping within the public rights-of-way within the boundaries of the property.
 - b. The HOA shall permanently maintain and operate all landscaping within the roadway medians on both Valley Boulevard and Pinon Street from the western project boundary to the eastern project boundary.

- c. The HOA shall permanently maintain all open spaces, parks, and public places (clubhouse and associated community amenities).
- d. The HOA shall maintain all landscaping for all common-use private property within the development. This includes the "green" spaces between all attached homes (Cottages, Townhomes, Apartments) and all Paired Homes.
- e. The HOA shall permanently maintain all alleyways within the project boundaries.
- f. The HOA shall permanently maintain all trash facilities in service to the project amenities. Furthermore, the HOA shall provide and maintain a bulky waste collection facility for use by HOA members.
- g. The HOA shall maintain all attached home exteriors. "Attached homes" include Cottages, Townhomes, and Apartments as defined by the Final Master Development Plan. "Exteriors" shall include, but not be limited to, siding, windows, shutters, paint, roofs, landscaping, etc.
- h. The HOA shall maintain all project signage other than standard traffic signs located within public right-of-way (alleys excluded) as contained in the California Manual of Uniform Traffic Control Devices (CAMUTCD).
- i. The HOA shall actively maintain the services of a licensed landscape maintenance company.
- j. The HOA shall be formed and active prior to the issuance of the first building occupancy of the development.

Close-Out Conditions

- 38. All documentation required by the Final Master Development Plan, Tehachapi Zoning Code, Tehachapi General Plan, Tehachapi Subdivision & Development Standards, Tehachapi Municipal Code, the Subdivision Map Act, and any other applicable rule or regulation shall be completed before project close-out at the expense of the Developer.

Precise Development Conditions of Approval

General Conditions

- 39. The sequence of project development shall follow the phasing plan approved as part of the Final Master Development Plan.
- 40. The developer shall undertake efforts to acquire land, easements or rights of way in order to construct required improvements.

Recordation Conditions

41. The subdivision shall comply with the State of California Subdivision Map Act and to all applicable requirements of the Tehachapi Municipal Code.
42. This conditionally approved Tentative Map will expire in accordance with the Planned Development regulations of the Tehachapi Zoning Code. The developer must submit a complete initial Precise Development Plan within 12 months of the approval of the Final Master Development Plan by the Tehachapi City Council original approval date. Any action associated with a minor change and/or revised map request will not extend the limits of the tentative map.
43. The final map shall be prepared by a licensed land surveyor subject to all requirements of the California Subdivision Map Act and the Department of Real Estate.
44. Prior to the recordation of the final map all delinquent property taxes shall be paid to the Kern County Tax Collectors Office.
45. Any easements or rights-of-way in conflict with the proposed development as determined by the City Engineer shall be quitclaimed or abandoned prior to recordation of the final map.
46. All poles and obstructions shall be relocated and/or removed from street right-of-way. This shall include, but is not limited to, Quitclaim or subordination of rights to the City by all interest and easement holders having the right to place facilities or otherwise obstruct the free use of the road right-of-way. Where major facilities exist, a common use agreement may be allowed when determined necessary by the City Engineer.
47. The final subdivision map shall be in substantial conformance with the approved Tentative Map, subject to those changes required by the conditions of approval.
48. An Engineer's cost estimate of improvements shall be submitted to the City Engineer for approval.
49. The following certificates shall be on the final map:
 - Owner's Certificate
 - City Clerk's Certificate
 - Engineer's or Surveyor's Certificate
 - Development Director's Certificate
 - City Engineer's Certificate
 - Recorder's Certificates

50. The developer shall provide the City Engineer with a Subdivision Guarantee and Title Report Covering subject property.
51. Improvement plans (streets, sewer, water and grading) shall be prepared, stamped and signed by the registered Civil Engineer and shall be submitted to and approved by the City prior to recording. See related conditions below.
52. The subdivider or successors in interest shall cooperate in the creation of a Community Facilities District to provide funding for the maintenance of the street lights, public right-of-way paving and concrete, and community policing. The district shall have the authority to assess each parcel within the Tract for the full amount of the maintenance cost for the items noted above and an increase in these assessments shall be authorized no less than annually by reference to the Consumer Price Index or such other reasonable formula approved by the City. The full cost of the creation of the district shall be borne by the developer including, but not limited to, all legal fees and engineering fees.
53. In connection with recordation of a final map phase, the developer shall convey water rights to the City equal to 1/3 acre-feet of water per equivalent dwelling unit, up to a total of 175 acre-feet of pumpable water rights. The rights shall be conveyed upon recordation of the final map for each consecutive phase, beginning with Phase 1, and in proportion to the number of equivalent dwelling units in each respective phase, until the total 175 acre-feet has been exhausted. The developer's water rights shall be conveyed to the City to meet the water demands of the project and entirely exhausted before the developer shall be entitled to make payment of the then current equivalent in-lieu fee under the City's Water Entitlement Policy.

Prior to Infrastructure Construction Phase

54. Following approval of any Precise Development Plan, the following engineering documents are expected as part of the construction submittal:
 - Soils Report
 - Grading & Drainage Plan
 - Street Improvement Plans
 - Water Improvement Plans
 - Sewer Improvement Plans (May be combined with Water)
 - Wall Plans (If applicable)
 - Storm Water Pollution Prevention Plans including a Monitoring Plan
55. The Kern County Fire Department shall have the right to review and approve the fire safety components of this project in compliance with their obligations as Fire Marshall. This includes fire hydrant placement, fire access, property identification, etc.

56. The Developer shall enter into a Subdivision Agreement with the City of Tehachapi including the posting of bonds in accordance with City Standard with each Precise Development Plan. No construction work of any kind shall be undertaken without said agreement in place.
57. The Developer shall reimburse the City for all expenses associated with plan review, approval, and construction observation in accordance with the City's adopted fee schedule in place at the time the work is performed.
58. The developer shall comply with any and all requirements set forth by any applicable Local, State or Federal law or regulation. Agencies with interest in this project may include, but are not limited to, the East Kern Air Pollution Control District, Kern County Public Works, Kern County Fire, Kern County Environmental Health, US Postal Service, Federal Aviation Administration, and the Tehachapi Unified School District.
59. A site-specific street light plan may be required, sufficient for the Southern California Edison Company. Said plan shall be provided to the City along with requisite application information for submittal to the power company.
60. Gas, electric, telephone and cable TV service shall be determined by the subdivider in consultation with the public utilities.
61. The City shall not accept any residential home Building Permit for any lot within a given Precise Development Plan until the public improvements required to serve said plan area are complete and accepted by the City Council.

Prior to Building Permit Issuance

62. The Developer is required to pay all applicable connection / mitigation fees on a per lot basis prior to the issuance of an associated Building Permit. These fees include, but are not limited to, water/sewer connection fees, traffic impact fees, public safety fees, school fees, and park fees.
63. The developer shall submit complete building plans prepared in accordance with the California Building Code by a licensed professional for review and approval by the City Building Department prior to permit issuance. The Developer shall pay all applicable review and permitting fees.
64. The developer shall submit complete landscaping plans, prepared in compliance with State regulation prepared by the properly licensed professional for review and approval by the City Development Department prior to issuance of a related Building Permit. The plan must comply with City Standards in addition to the State Water Conservation in Landscaping Act AB 1881.

65. All security lighting shall be reviewed and approved by the Development Services Department and shielded in such a manner as to preclude the effects of light and glare onto adjacent properties utilizing dark sky technology per the Illuminating Engineering Society of North America (IESNA). The Developer shall submit a photo-metrics analysis confirming compliance prior to permit issuance for the public space amenities.
66. Kern County Fire Department and the City Engineer shall approve fire protection facilities and all Fire Department requirements prior to the issuance of building permits. The developer is required to make a separate submittal to the Kern County Fire Department as part of Building Permit application. The City of Tehachapi does not provide this service. The address for the Kern County Fire Department is 5642 Victor Street, Bakersfield, CA 93308.
67. The location of the communal trash enclosures shall be approved by the City Planning Department. The trash enclosures shall meet City standards and provide a method to keep bins closed to prevent attractive nuisance problems.
68. The City reserves the right to withhold building inspection, if the Developer is overdue on any properly applied fees and charges, on a house-by-house basis, at any time during project construction.

Prior to Issuance of Certificate of Occupancy Conditions of Approval

69. Prior to issuance of occupancy permits all landscaping shall be installed in substantial conformance with the approved landscape plan and shall be in a viable growth condition. The developer shall assign to each homeowner the one-year landscape warranty received from the landscape contractor.
70. A backflow certification is required prior to occupancy.

Appendix F – Price Evaluation Report

SAGE RANCH PROJECT PRICE EVALUATION



Paul Morris, CEO
Keller Williams Forward Living

May 2023

Experience

Paul Morris, CEO
Keller Williams Forward Living



Foward Living Stats

Last Twelve Months 2022

OWNER/ OPERATOR

VOLUME	UNITS	AGENT COUNT
GRAND TOTAL: \$7,208,106,344	5,339	2,446

REGION

VOLUME	UNITS	AGENT COUNT
TOTAL: \$18,300,279,622	18,031	7,671

Paul is a Keller Williams' Regional Owner for Central & Southern California, encompassing 36 offices with 8,000 realtors who closed just under \$25 billion in sales volume in the last 12 months. Additionally, as CEO of Forward Living, Paul has grown his own offices to become Keller William's 2nd largest Franchisee with 3,200 realtors who closed nearly \$11 billion in annual sales volume. Paul and his team have led Keller Williams to the #1 spot for Market Share in Los Angeles. Real Trends 500 ranks Paul's group as the 24th largest real estate brokerage firm in the U.S. and the 2020 Swanepoel 200 ranked Paul as the 64th most powerful person in real estate. Paul is a prolific entrepreneur, real estate investor, author, trainer, and business consultant. He is the author of the New York Times Bestselling book Wealth Can't Wait. Prior to real estate, Paul had a successful legal career - highlights include his work at the international law firm Proskauer Rose, and as Senior Counsel at the United States Department of Justice consistently reporting to the US Attorney General and Counsel to the President. Paul has a degree in economics from University of Pittsburgh, a Masters in Management from Oxford University, and a Juris Doctorate from Cornell Law School. Initially engaged to lead sales and marketing for Sage Ranch, Paul became Sage Ranch's lead representative working closely with City staff to successfully get full entitlement for the project by unanimous vote of the Mayor and City Council.

Current Comps

Recent Sales in Tehachapi

January 2022 - April 2023

These comps were selected as they are reflected of the new home inventory that was transacted in the immediate area of Sage Ranch.

Comparable 1

Sold 01/20/22 Listing # 9984381 21204 Country Club Dr, Tehachapi, CA 93561-7962 [Map](#) Listing Price: \$529,990
County: Kern Cross St: Mariposa



Property Type	Residential	Property Subtype	Single Family Resi
Area	Golden Hills West	Approx Square Feet	1923 Property Profile
Beds	4	Price/Sq Ft	\$260.01
Baths	2 (2 0 0)	Lot Sq Ft (approx)	38333 ((Owner))
Garage Space	2	Lot Acres (approx)	0.8800
Year Built	2019		
APN	27016101		

[See Additional Pictures](#)

Directions Woodford, left on Country Club, house on the left.

Marketing Remarks Stunning West Golden Hills modern ranch style home! Built in 2019, this 1923sf 4 bed 2 bath home includes the adjacent parcel bringing total property size close to an acre(.88ac). This amazing home features an open floor plan, vinyl wood plank floors, 9ft ceilings and a cozy corner fireplace. The gourmet kitchen is designed to be the heart of the home, which opens to the great room and dining area with amazing views. The kitchen is complete with stainless appliances, shaker cabinets and quartz counter tops. Spacious master suite features large walk in closet, soaking tub, large tiled walk in shower, shaker cabinets and beautiful quartz counters. Enjoy a park like setting with well maintained grounds amongst the oaks.

Comparable 2

Sold 02/09/22 Listing # 9984670 20912 Ridgeway Dr., Tehachapi, CA [Map](#) Listing Price: \$458,000
County: Kern Cross St: Mariposa



Property Type	Residential	Property Subtype	Single Family Resi
Area	Golden Hills West	Approx Square Feet	1729 Property Profile
Beds	3	Price/Sq Ft	\$264.89
Baths	2 (2 0 0)	Lot Sq Ft (approx)	22651 ((Property Profile))
Garage Space	2	Lot Acres (approx)	0.5200
Year Built	2020		
APN	29027106		

[See Additional Pictures](#)

Directions Mariposa to Ridgeway Dr towards cul-de-sac

Marketing Remarks This new immaculate home sits on just over half an acre in the highly desirable area of West Golden Hills with gorgeous landscaping and room for entertaining. This home is a split wing at 1729 sq ft with 3 bedrooms and 2 baths. A single owner and very meticulous inside and out. As you walk in you're greeted with a large stone gas fireplace in the open concept living room, vinyl plank flooring throughout the home and upgraded carpet in all the bedrooms. Granite counters in the bathrooms along with tiled showers. The kitchen is bright and open with quartz counters and soft closing cabinets. The attention to detail is a huge bonus from the tall baseboards throughout, covered patio with fans, real wood blinds, lights with customisable timed lighting... the list goes on. It also comes with an owned water softener and reverse osmosis system. This house is beautifully landscaped and in a great location on a quiet cul-de-sac. This house is a must see and won't last long.

Comparable 3

Sold 03/25/22

Listing # 9984289
County: Kern

21350 Yearling, Tehachapi, CA 93561-0 [Map](#)
Cross St: Kelso

Listing Price: \$699,000



Property Type	Residential	Property Subtype	Single Family Resi
Area	Fair View Ranches	Approx Square Feet	2570 Owner
Beds	4	Price/Sq Ft	\$268.48
Baths	3 (2 1 0)	Lot Sq Ft (approx)	91912 ((Assessor))
Garage Space	3	Lot Acres (approx)	2.1100
Year Built	2021		
APN	44819301		
See Additional Pictures			

Directions Highway 202 and turn right going towards Bear Valley and Stallion Springs. Go straight until the road turns to the left and becomes Baily, then turn right where it turns onto Giraud, then go straight until Pegasus and turn right, turn left on Cummings Val

Marketing Remarks NEW CONSTRUCTION Custom Home in highly sought after Fairview Ranchos. This 2570 sq. ft. home offers some amazing amenities. High cofferred ceilings in the great room, formal entryway, custom white cabinetry, granite counters, tiled oversized shower in the master bath with dual shower heads, large jetted tub in master bath and a walk in closet fit for a queen. There is a small office with built in desk and shelves just off the formal dining area and adjoining the laundry room, a TV room or den, informal eating area, and laminate flooring in all areas except the bedrooms where carpet will be installed. **NEW PICTURES** are construction in progress. Professional photos will be done when home is completed.

The property is **FULLY FENCED** and ready for your four legged friends, with a beautiful oak tree that frames the views looking to the west. Speaking of views, all three patios/porches are covered and will bring you delightful views of the surrounding mountains no matter what season or time of day.

Why wait? This one just might be **The One!** Expected completion December 2021

Comparable 4

Sold 01/06/23

Listing # 9986467
County: Kern

29221 Angus Ct, Tehachapi, CA 93561 [Map](#)
Cross St: Longhorn

Listing Price: \$649,000



Property Type	Residential	Property Subtype	Single Family Resi
Area	Stallion Springs	Approx Square Feet	2367 Owner
Beds	4	Price/Sq Ft	\$274.19
Baths	3 (2 0 1)	Lot Sq Ft (approx)	243065 ((Assessor))
Garage Space	3	Lot Acres (approx)	5.5800
Year Built	2022		
APN	31728003		
See Additional Pictures			

Directions Head west on Banducci, and then turn right on Longhorn, take left onto Angus and property is on right side.

Marketing Remarks This new construction home in Stallion Springs is a jaw dropper. The 4 bedroom 2.5 bathroom with an office home is the definition of the ideal country home, pictures do not do it justice. This beautiful home has an amazing backyard with the possibilities to get as creative as possible. Home has luxury vinyl flooring, beautiful siding on exterior, all new light fixtures and ceiling fans. It even has OWNED SOLAR. Kitchen has beautiful quartz counters with an island. The 3 car garage in the back of the home and possible RV parking is plenty of space for someone who needs lots of room for their toys. So many awesome features!

Comparable 5

Sold 07/26/22

Listing # 9985667
County: Kern

26621 Stirrup Way, Tehachapi, CA 93561-7233 [Map](#)
Cross St: Jacaranda Dr.

Listing Price: \$389,000



Property Type	Residential	Property Subtype	Single Family Resi
Area	Bear Valley Springs	Approx Square Feet	1380 Property Profile
Beds	3	Price/Sq Ft	\$274.84
Baths	2 (2 0 0)	Lot Sq Ft (approx)	45738 ((Property Profile))
Garage Space	2	Lot Acres (approx)	1.0500
Year Built	2022		
APN	34424205		
See Additional Pictures			

Directions Bear Valley Rd turn right onto Jacaranda Dr, left onto Stirrup Way arrive at 26621 stirrup way on your right.

Marketing Remarks New Construction located in Bear valley!

This Home is on 1.05 acres with many Trees and Beautiful views of Bear Valley.

Open floor plan, 1380sqft, 3 beds, 2 bath, 2 car garage. Many upgrades, custom white shaker cabinets, tiled showers, granite counter topsthroughout, floating waterproof vinyl plank floors in main living area and bathroom. Carpet in bedrooms, electric fireplace, 9' ceilings, large pantry, upgraded windows. Black stainless steal appliances, paid off solar system and high efficiency tankless water heater, stucco is acrylic. Expected completion 7/25/2022

Comparable 6

Sold 11/07/22

Listing # 9985811
County: Kern

409 Rosehaven Ct, Tehachapi, CA 93561 [Map](#)
Cross St: Brandon Ln.

Listing Price: \$679,000



Property Type	Residential	Property Subtype	Single Family Resi
Area	Tehachapi City	Approx Square Feet	2386 Property Profile
Beds	4	Price/Sq Ft	\$282.27
Baths	3 (2 1 0)	Lot Sq Ft (approx)	12632 ((Property Profile))
Garage Space	4	Lot Acres (approx)	0.2900
Year Built	2016		
APN	4172610		
	See Additional Pictures		

Directions Curry St. East on Pinon St. To Brandon Ln. Right on Rosehaven Ct.

Marketing Remarks Custom Heritage Oaks Estate single story 4 bedroom home in one of Tehachapi's most prestigious developments. This well maintained home has many upgrades from custom build offering professionally landscaped front entry showing large wood arch beams, custom wood tone double entry doors into large neutral color tile floors. Large open living room, dining room area seen from adjoining well planned granite garnished kitchen with all high end appliances. Comfortable split wing plan with large owners suite enjoying exceptional tiled and granite bathroom offering oval tub, separate tiled shower and large walk in closet. Very nice sized guest bedrooms and long inside laundry with ample cabinetry. True 4 car oversized finished garage with insulated roll up doors. Large covered rear patio viewing custom fire pit seating area. Ample gated RV access with 30 amp power and sewer dump This custom estate home will certainly impress ! All sitting on 12,632 sq ft lot just within Tehachapi city

Comparable 7

Sold 06/03/22

Listing # 9985316
County: Kern

21416 Stage Dr Dr, Tehachapi, CA 93561-6931 [Map](#)
Cross St: Valley Vista

Listing Price: \$569,000



Property Type	Residential	Property Subtype	Single Family Resi
Area	Golden Hills West	Approx Square Feet	1980 Property Profile
Beds	4	Price/Sq Ft	\$287.37
Baths	2 (2 0 0)	Lot Sq Ft (approx)	22651 ((Property Profile))
Garage Space	2	Lot Acres (approx)	0.5200
Year Built	2022		
APN	29006006		
	See Additional Pictures		

Directions Red Apple Ave, right on Westwood, right on Woodford, left on Country Club Dr, Left onto Valley Vista Dr, turn left onto State Dr. on right arrive at 21416 Stage Dr.

Marketing Remarks Absolutely gorgeous! New Construction Open floor plan,1980sqft 4 bed, 2 bath, 9' ceiling , in highly desirable West Golden Hills. With View's of Tehachapi City and Mountains, where you can relax and enjoy wildlife. Having little over 1/2 acre flat lot, RV parking, horses are okay. No expenses spared. High end ledge stone creates a dramatic entrance that flows throughout the home. Upgraded Windows, Custom white shaker cabinets with soft closing hinges, ample storage throughout, large walk in pantry, high end quarts, black stainless steel appliances that included a microwave and double oven, Luxury waterproof vinyl floors, carpet in bedrooms. Primary bedroom has large walk-in closet , spa like en suite does not disappoint with large shower and a beautiful soaker tub. Solar system is paid off, tankless water heater, 240 EV charging outlet. Built in 6 HD camera surveillance system. Estimated completion date 4/30/2022. This home is a must see, wont last long!

Comparable 8

Sold 02/23/22

Listing # 9984610
County: Kern

21813 Valley Vista Dr, Tehachapi, CA 93561-8825 [Map](#)
Cross St: Chestnut

Listing Price: \$649,000



Property Type	Residential	Property Subtype	Single Family Resi
Area	Golden Hills West	Approx Square Feet	2112 See Remarks
Beds	4	Price/Sq Ft	\$295.93
Baths	2 (2 0 0)	Lot Sq Ft (approx)	23087 ((Property Profile))
Garage Space	2	Lot Acres (approx)	0.5300
Year Built	2021		
APN	29012202		
	See Additional Pictures		

Directions Mariposa left on Valley Vista

Marketing Remarks *Still under New Construction*

This luxurious mountain lodge retreat home boasts views over Old Towne Rd. to Tehachapi's Double Mountain. When looking through your picture windows or standing outside in your yard, you will feel like you're inside a Thomas Kinkade painting. This amazing home is open concept with vaulted ceilings and custom knotty alder cabinets. The kitchen will have stainless steel Kitchen Aid appliances, including a double oven, dishwasher and a gas burning cooktop. The island has a farmhouse sink, pendant lighting, with quartz countertops and vinyl wood plank floor throughout the home with carpet in the bedrooms. The laundry room has more cabinets than you can imagine, plus a mud bench to use when coming to or from the garage. The large master bedroom has a walk in closet, and a separate shower and jacuzzi tub. It has great separation from the other three bedrooms for maximum privacy. Try to find a West Golden Hills home that has natural gas, paid for solar, flat usable land for a future shop or pool and breathtaking views that are unparalleled all in one. This one of a kind home of your dreams is finally here and won't last long!

Comparable 9

Sold 07/27/22

Listing # 9985594
County: Kern

26581 Teal Ct, Tehachapi, CA 93561-9119 [Map](#)
Cross St: Deertrail

Listing Price: \$425,000



Property Type	Residential	Property Subtype	Single Family Resi
Area	Bear Valley Springs	Approx Square Feet	1402 Property Profile
Beds	3	Price/Sq Ft	\$303.14
Baths	3 (2 0 1)	Lot Sq Ft (approx)	87120 ((Assessor))
Garage Space	2	Lot Acres (approx)	2.0000
Year Built	2020		
APN	32914208		
	See Additional Pictures		

Directions Bear Valley Rd to Deertrail past Owl Ct

Marketing Remarks Modern, Mountain Charmer built in 2020. Walk into a crisp, clean new home with endless views.

This 3 bedroom, 2 bath home features shaker cabinets, stainless steel appliances, black hardware throughout, custom window frames, laminate floors, beautiful bathrooms and spacious bedroom's.

Enjoy the summers on the deck with panoramic views, watch the wildlife as it strolls by. If you've been looking for the getaway cabin, this is the one!

Comparable 10

Sold 03/29/22

Listing # 9984827
County: Kern

23601 Dart Dr, Tehachapi, CA 93561-0 [Map](#)
Cross St: Cumberland Drive

Listing Price: \$480,000



Property Type	Residential	Property Subtype	Single Family Resi
Area	Bear Valley Springs	Approx Square Feet	1508 Owner
Beds	3	Price/Sq Ft	\$305.04
Baths	2 (2 0 0)	Lot Sq Ft (approx)	52708 ((Assessor))
Garage Space	2	Lot Acres (approx)	1.2100
Year Built	2022		
APN	31422207		
	See Additional Pictures		
	See Virtual Tour		

Directions Bear Valley Rd, left on Cumberland, right on Dart Drive.

Marketing Remarks Pristine, one-of-a-kind, move-in-ready 3 bedroom 2 bath in the desirable gated community of Bear Valley Springs! Walk into your light filled sun room with a beautiful skyline view of meadows and picturesque mountains. Kitchen has an open floorplan, custom shaker cabinets, new stainless steel KitchenAid appliances and quartz countertops. This home also offers owned solar, new Samsung washer & dryer, tankless water heater and exquisite shiplap ceilings throughout! Bathrooms are tastefully designed with modern tile and classic fixtures. This lovely brand new home is sophisticated and charming! Located in the desirable gated community of Bear Valley Springs. Bear Valley Springs offers a restaurant, 2 lakes, golf course, community pool, equestrian center, trails, market, gas station, tennis courts, community center work out room and so much more! Quartz countertops and hardware will be installed by February 10th. Wood chips at lower part of property will be spread by March. House set up for future Generac generator. Don't forget to click on the virtual tour!

Current Comps

Recent Sales in Lancaster and Tehachapi January 2022 - April 2023

Comparable 1

List #: 22005544	26621 Stirrup Way, Tehachapi, CA 93561		Current Price: \$379,275
County: Kern	Cross St.: Jacaranda Dr		Status: Closed
	Area: 96 - Out of Area North # Bedrooms: 3 Total Baths: 2 Baths - Full: 2 Baths - 1/2: 0 Baths - 3/4: 0 Year Built: 2022 APN: 344-242-05	DOM/CDOM: 7/7 Property Sub-Type: Single Family Residence Square Footage: 1,380/Assessor List Price/SqFt: \$281.88 Sold Price/SqFt: 274.84 Lot SqFt: 45,738 Lot Acres: 1.05	
Directions: Head Southwest on CA-202 W toward cummings Valley Rd, Turn right onto Bear Valley Rd, Turn Right onto Jacaranda Dr. Turn Left onto Stirrup way. 26621 Stirrup Way will be on your Right. Marketing Remarks: New Construction Located in Bear Valley! This Home is on 1.05 acres with many Trees and Beautiful views of Bear Valley. Open Floor Plan, 1380sqft, 3 beds. 2 bath, 2 car garage. Many upgrades, custom white shaker cabinets, tiled showers, granite counter tops throughout. floating waterproof vinyl plank floors in main living area and bathrooms. Carpet in bedrooms, electric fireplace, 9' ceilings, Large pantry, upgraded windows. Black stainless steal appliances, paid off solar system and high efficiency tankless water heater, stucco is acrylic. Expected completion 7/25/2022			
Original List Price:	\$389,000	Listing Date:	06/15/2022
Listing Price:	\$389,000	Pending Date:	06/22/2022
Sold Price:	\$379,275	Sold Date:	07/26/2022
		Agreement Type:	Exclusive Right to Sell
		Sale Type:	Standard


Comparable 2

List #: 22004940	20308 Weston Avenue, Tehachapi, CA 93561		Current Price: \$444,000
County: Kern	Cross St.: Woodford Tehachapi Rd		Status: Closed
	Area: 17 - Kern Co/Mojave/Cal C # Bedrooms: 4 Total Baths: 2 Baths - Full: 2 Baths - 1/2: 0 Baths - 3/4: 0 Year Built: 2022 APN: 270-513-07	DOM/CDOM: 12/12 Property Sub-Type: Single Family Residence Square Footage: 1,715/Builder List Price/SqFt: \$255.98 Sold Price/SqFt: 258.89 Lot SqFt: 10,890 Lot Acres: 0.25	
Directions: Take Woodford Tehachapi to Weston Ave. Marketing Remarks: ** New Home with Views** This beautiful split wing 4 bedroom 2 bath is slated to be move in ready by end of summer! Located in the center of the Golden Hills district your home has a perfect view of Tom Sawyer Lake. Aspen II Homes come with the highest rated efficiency such as; tankless water heater, argon gas filled dual pane windows, insulated garage, QII duct testing, 96% central heating system, 4 ton AC system, whole house fan, 8 oz stain resistant carpeting, and more. Inquire further to find out how you can get into this amazing home.			
Original List Price:	\$439,000	Listing Date:	05/30/2022
Listing Price:	\$439,000	Pending Date:	06/11/2022
Sold Price:	\$444,000	Sold Date:	10/13/2022
		Agreement Type:	Exclusive Right to Sell
		Sale Type:	Standard


Comparable 3

List #: 22007955	10137 E Ave R, Littlerock, CA 93543		Current Price: \$490,000
County: Los Angeles	Cross St.: 100th St E		Status: Closed
	Area: 10 - Littlerock/Pearlblossom # Bedrooms: 4 Total Baths: 2 Baths - Full: 2 Baths - 1/2: 0 Baths - 3/4: 0 Year Built: 2022 APN: 3027-024-041	DOM/CDOM: 110/131 Property Sub-Type: Single Family Residence Square Footage: 1,635/Builder List Price/SqFt: \$305.81 Sold Price/SqFt: 299.69 Lot SqFt: 43,560 Lot Acres: 1	
Directions: 100th St E and R Marketing Remarks: New Construction!!! This four-bedroom and two-bathroom masterpiece is located in the rapidly growing community of Littlerock. It offers perfect balance of modern craftsmanship and practicality. The kitchen features quartz counter tops, NEW kitchen appliances, and modern white cabinetry. Across the sunlit interior, discover a gorgeous combination of crisp white tones, waterproof vinyl flooring, and 9ft ceilings. This home was perfectly designed. A MUST SEE!!!!			
Original List Price:	\$519,999	Listing Date:	08/25/2022
Listing Price:	\$500,000	Pending Date:	12/13/2022
Sold Price:	\$490,000	Sold Date:	01/10/2023
		Agreement Type:	Exclusive Right to Sell
		Sale Type:	Standard

Comparable 4

List #: 23000488	10561 E Ave S-6, Littlerock, CA 93543		Current Price: \$503,000	
County: Los Angeles	Cross St.: 106th St E		Status: Closed	
	Area:	10 - Littlerock/Pearblossom	DOM/CDOM: 7/7	
	# Bedrooms:	4	Property Sub-Type: Single Family Residence	
	Total Baths:	2	Square Footage: 1,635/Builder	
	Baths - Full:	2	List Price/SqFt: \$299.69	
	Baths - 1/2:	0	Sold Price/SqFt: 307.65	
	Baths - 3/4:	0	Lot SqFt: 13,504	
	Year Built:	2022	Lot Acres: 0.31	
	APN:	3044-013-042		
	Directions: 106th ST E and S-6			
	Marketing Remarks: Built from the ground up in 2022, this NEW home features 1635 square footage of living area. Inside the home discover the bright white tones of paint, open floor plan and tile flooring. The kitchen includes custom hand made cabinetry, stainless steel appliances and quartz countertops. The backyard is the best spot for enjoyment with its Patio ready for summer cook outs. Come and take a tour of this new home.			
Original List Price:	\$489,999	Listing Date:	01/23/2023	
Listing Price:	\$489,999	Pending Date:	01/30/2023	
Sold Price:	\$503,000	Sold Date:	03/03/2023	
		Agreement Type:	Exclusive Right to Sell	
		Sale Type:	Standard	

Comparable 5

List #: 22000358	10707 E Ave R 4, Littlerock, CA 93543		Current Price: \$507,000	
County: Los Angeles	Cross St.: 107th St. E		Status: Closed	
	Area:	10 - Littlerock/Pearblossom	DOM/CDOM: 74/74	
	# Bedrooms:	3	Property Sub-Type: Single Family Residence	
	Total Baths:	2	Square Footage: 1,400/Builder	
	Baths - Full:	2	List Price/SqFt: \$363.57	
	Baths - 1/2:	0	Sold Price/SqFt: 362.14	
	Baths - 3/4:	0	Lot SqFt: 33,499	
	Year Built:	2022	Lot Acres: 0.77	
	APN:	3041-013-040		
	Directions: Corner of E Avenue R4 & 107th St. E.			
	Marketing Remarks: NEW CONSTRUCTION IN LITTLEROCK !!! Under construction, Beautiful home will feature 3 bedrooms & 2 full bathrooms, open complex to kitchen, dining and living area, Central AC & Heating, Laminate flooring throughout the home & quartz counter tops in the kitchen. New Appliances: Gas Range, Microwave, Dishwasher, and Disposal will be installed. Solar Panels will also be installed -PAID OFF & included in the sale!! Laundry Area in the 2 car Garage/Attached. Wood Fence all around.			
Original List Price:	\$489,000	Listing Date:	01/13/2022	
Listing Price:	\$509,000	Pending Date:	03/28/2022	
Sold Price:	\$507,000	Sold Date:	05/04/2022	
		Agreement Type:	Exclusive Right to Sell	
		Sale Type:	Standard	

Comparable 6

List #: 22002137	44149 Buckeye Court, Lancaster, CA 93536		Current Price: \$529,734	
County: Los Angeles	Cross St.: 50th		Status: Closed	
	Area:	03 - Lancaster West	DOM/CDOM: 1/1	
	# Bedrooms:	3	Property Sub-Type: Single Family Residence	
	Total Baths:	2	Square Footage: 1,592/Builder	
	Baths - Full:	2	List Price/SqFt: \$324.11	
	Baths - 1/2:	0	Sold Price/SqFt: 332.75	
	Baths - 3/4:	0	Lot SqFt: 6,969.6	
	Year Built:	2022	Lot Acres: 0.16	
	APN:	3203-062-013		
	Directions: 50th St between Ave J and Ave J8			
	Marketing Remarks: Welcome to Seasons at Providence Ranch by Richmond American Homes! This single-story Onyx features an open floorplan with a great room, dining area and a kitchen with GE Stainless Steel Appliances. The Master Suite includes a walk-in closet and a private bath with walk-in shower. Two additional bedrooms a bath and a laundry round out the residence. Includes a 2car garage. Welcome Home!!			
Original List Price:	\$515,990	Listing Date:	03/11/2022	
Listing Price:	\$515,990	Pending Date:	03/12/2022	
Sold Price:	\$529,734	Sold Date:	09/29/2022	
		Agreement Type:	Exclusive Right to Sell	
		Sale Type:	Standard	


Comparable 7

List #: 22003623	45354 Tamra Avenue, Lancaster, CA 93535		Current Price: \$537,990	
County: Los Angeles	Cross St.: Challenger		Status: Closed	
	Area:	04 - Lanc Div to 90th E	DOM/CDOM: 99/99	
	# Bedrooms:	3	Property Sub-Type: Single Family Residence	
	Total Baths:	2	Square Footage: 1,867/Builder	
	Baths - Full:	2	List Price/SqFt: \$288.16	
	Baths - 1/2:	0	Sold Price/SqFt: 288.16	
	Baths - 3/4:	0	Lot SqFt: 6,580	
	Year Built:	2022	Lot Acres: 0.15	
	APN:	3176-033-025		
	Directions: Exit 14 Freeway at Avenue H go East to Challenger Way then Make a Right homes on right side before you reach Avenue I 661-946-3523			
	Marketing Remarks: Come home to this beautiful Single Story home on a cul de sac street. Flooring hand picked by a professional home designer! Laminate throughout home, volume ceilings, upgraded cabinets throughout, large kitchen island, so many features and well thought out details. Please call for a personal tour at 661-946-3523 Make Tamra Avenue your home today!			
Original List Price:	\$524,990	Listing Date:	04/01/2022	
Listing Price:	\$537,990	Pending Date:	07/15/2022	
Sold Price:	\$537,990	Sold Date:	12/03/2022	
		Agreement Type:	Exclusive Right to Sell	
		Sale Type:	Standard	

Comparable 8

List #: 22004455	9322 E Ave Q-12, Littlerock, CA 93543		Current Price: \$560,000	
County: Los Angeles	Cross St.: 95th St E		Status: Closed	
	Area:	10 - Littlerock/Pearblossom	DOM/CDOM: 74/74	
	# Bedrooms:	5	Property Sub-Type: Single Family Residence	
	Total Baths:	3	Square Footage: 2,017/Builder	
	Baths - Full:	2	List Price/SqFt: \$282.6	
	Baths - 1/2:	1	Sold Price/SqFt: 277.64	
	Baths - 3/4:	0	Lot SqFt: 49,640	
	Year Built:	2022	Lot Acres: 1.14	
	APN:	3027-017-032		
	Directions: 95th St E and Q-12			
	Marketing Remarks: NEW CONSTRUCTION! Inspired to own a New ranch home? Doors are officially open and tours can be appointed. This Ranch home has entered the market waiting for its buyer. Modern improvements make this home exciting for buyers. This single story home sits on a 1.1 acre lot and includes PAID OFF SOLAR. Offers perfect balance of craftsmanship and practicality, convenient technology and space inside and out. DO NOT miss on the opportunity to call this home yours!			
Original List Price:	\$619,999	Listing Date:	05/17/2022	
Listing Price:	\$569,999	Pending Date:	08/25/2022	
Sold Price:	\$560,000	Sold Date:	11/10/2022	
		Agreement Type:	Exclusive Right to Sell	
		Sale Type:	Standard	


Comparable 9

List #: 22003201	10150 E Avenue Q12, Littlerock, CA 93543		Current Price: \$565,000	
County: Los Angeles	Cross St.: 100th		Status: Closed	
	Area:	10 - Littlerock/Pearblossom	DOM/CDOM: 8/8	
	# Bedrooms:	3	Property Sub-Type: Single Family Residence	
	Total Baths:	2	Square Footage: 1,548/Assessor	
	Baths - Full:	0	List Price/SqFt: \$355.26	
	Baths - 1/2:	0	Sold Price/SqFt: 364.99	
	Baths - 3/4:	2	Lot SqFt: 45,607	
	Year Built:	2022	Lot Acres: 1.05	
	APN:	3027-024-044		
	Directions: From 14 FWY North Exit Pearblossom East, Keep straight ONTO East Avenue T, North on 87th becomes 90th, to East on Avenue S, north on 100th and east on Q12. House is right before crossing 102nd Street East. (House is on the south side of street)			
	Marketing Remarks: NEW CONSTRUCTION BUILT IN 2022 sits in more than 1 acre of land!! PAID SOLAR PANELS included!! COUNTRY LIVING CLOSE TO TOWN. This QUAIN home offers Open Space Floor Plan, 3 sizable bedrooms and 2 baths, Luxurious, STAINLESS steel appliances included, QUARTZ counter tops, WAINSCOTING (wall molding design), CUSTOM bathrooms and doors, VIDEO SURVEILLANCE, Tank-Less Water Heater, Nest Thermostat etc...OVER EXTENDED COMPLETELY Finished 2 car garage with 864 SQFT can easily fit 3 cars finished with epoxy flooring, recess lighting and ELECTRIC CAR CHARGER. Recessed LED lighting, quartz counter tops, waterproof flooring through out. CUSTOM CLOSET ORGANIZER have been installed in each bedroom and remote ceiling fans. No Attention to detail was overlooked from the interior and exterior to its captivating curve appeal. Only 10 min. drive from Palmdale. Do not wait to come and view this amazing home, perfect for your family's gatherings. PLENTY of room to grow. DON'T LET THIS ONE GET AWAY!!			
Original List Price:	\$549,950	Listing Date:	04/12/2022	
Listing Price:	\$549,950	Pending Date:	04/20/2022	
Sold Price:	\$565,000	Sold Date:	10/04/2022	
		Agreement Type:	Exclusive Right to Sell	
		Sale Type:	Standard	

Comparable 10

List #: 22004181	6175 West Avenue J-9, Lancaster, CA 93536		Current Price: \$569,726	
County: Los Angeles	Cross St.: Starview		Status: Closed	
	Area:	03 - Lancaster West	DOM/CDOM: 25/25	
	# Bedrooms:	3	Property Sub-Type: Single Family Residence	
	Total Baths:	2	Square Footage: 1,740/Builder	
	Baths - Full:	2	List Price/SqFt: \$329.3	
	Baths - 1/2:	0	Sold Price/SqFt: 327.43	
	Baths - 3/4:	0	Lot SqFt: 7,543	
	Year Built:	2022	Lot Acres: 0.17	
	APN:	3203-066-018		
	Directions: J-8 to 50th St. left to J-4 turn right			
	Marketing Remarks: Welcome to Seasons at Starview by Richmond American Homes! This impressive home offers a popular open layout with a laundry room, dining room, great room and a large kitchen, complete with a center island. Across the hall you'll find two bedrooms, a bath and the master suite, which offers a private bathroom with dual sinks, a walk-in shower and closet across. Also includes a standard covered patio and 2-car garage. We invite you to come in and take a look at your new home!			
Original List Price:	\$572,990	Listing Date:	05/10/2022	
Listing Price:	\$572,990	Pending Date:	06/04/2022	
Sold Price:	\$569,726	Sold Date:	01/03/2023	
		Agreement Type:	Exclusive Right to Sell	
		Sale Type:	Standard	

Comparable 11

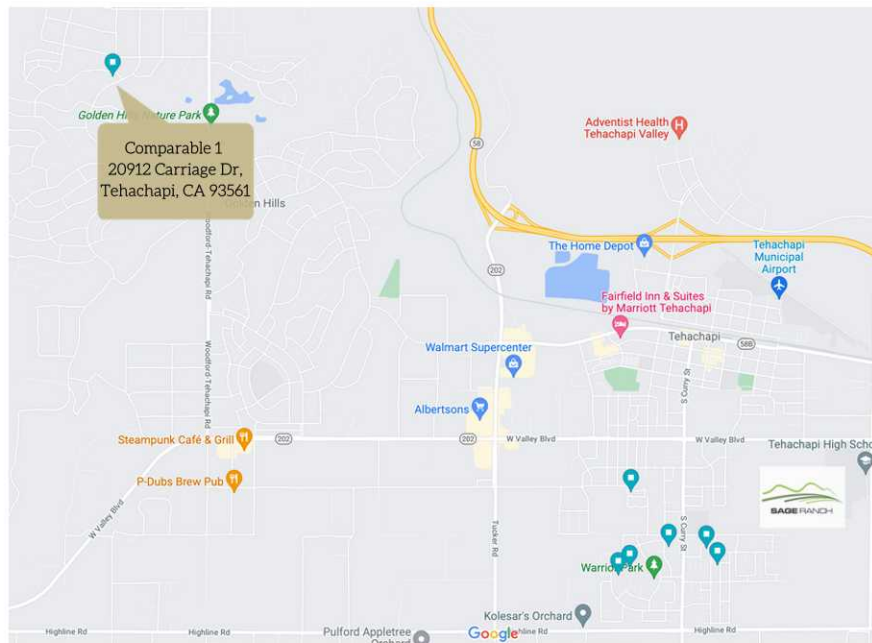
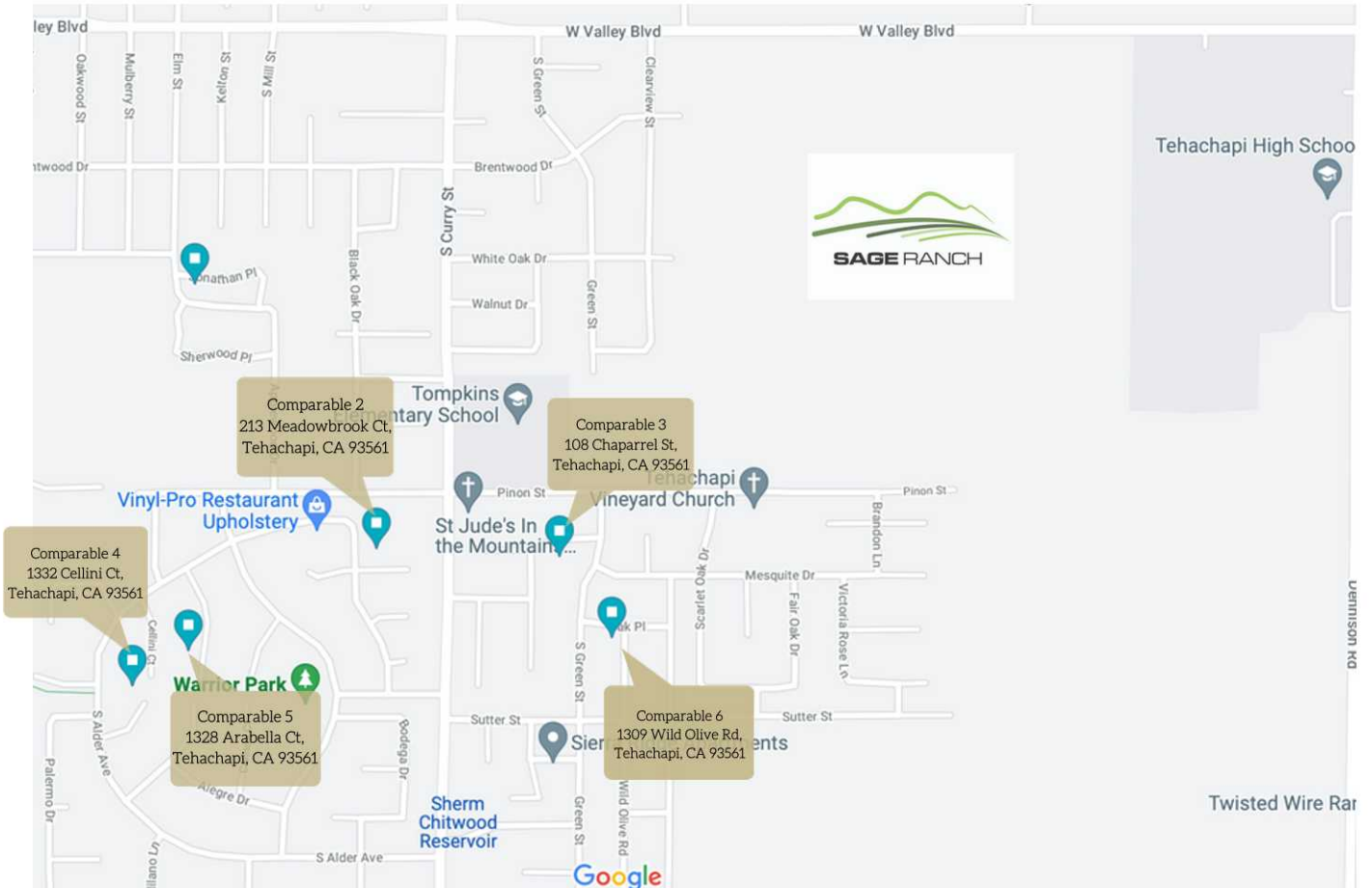
List #: 22009391	9256 E Ave R12, Littlerock, CA 93543		Current Price: \$570,000	
County: Los Angeles	Cross St.: 90th Street East and Ave R12		Status: Closed	
	Area:	10 - Littlerock/Pearblossom	DOM/CDOM: 47/47	
	# Bedrooms:	4	Property Sub-Type: Single Family Residence	
	Total Baths:	2	Square Footage: 1,853/Builder	
	Baths - Full:	2	List Price/SqFt: \$286.02	
	Baths - 1/2:	0	Sold Price/SqFt: 307.61	
	Baths - 3/4:	0	Lot SqFt: 49,658	
	Year Built:	2022	Lot Acres: 1.14	
	APN:	3042-016-007		
	Directions: Go north on CA-14 N, Take exit 30 toward Pearblossom Hwy, Continue on Pearblossom Hwy, Continue straight onto E Ave T, Turn left onto 87th St E, Continue onto 90th St E, Then turn right onto E Ave R 12 sign on property.			
	Marketing Remarks: BRAND NEW 2022 CUSTOM HOME! DEFINITELY A MUST SEE!! This gorgeous 1853 Sq Ft. home is totally upgraded featuring 4 spacious bedrooms and 2 amazing custom bathrooms with tile in showers as well as a good size laundry room and an oversize 672 Sq. Ft. Garage with epoxy coated flooring. The 207 Sq. ft. front porch entryway leads you into an open floor plan with a big living room with beautiful wall moldings and a stunning dining room and kitchen with Quartz countertops and stainless steel appliances. This immaculate property also features a fully paid Solar System, a Video Security System, tankless water heater, custom doors, LED lights throughout, electric car charger ready, vinyl fencing, stamped concrete driveway and walkway around perimeter, front lawn with sprinkler system, recessed lighting, and ceiling fans in every bedroom. All of this on over an Acre of Land! Absolutely too much to list.... Don't miss this opportunity! Seller will pay up to \$10,000.00 towards buyers closing cost			
Original List Price:	\$585,000	Listing Date:	10/14/2022	
Listing Price:	\$530,000	Pending Date:	11/30/2022	
Sold Price:	\$570,000	Sold Date:	02/02/2023	
		Agreement Type:	Exclusive Right to Sell	
		Sale Type:	Standard	

2021 Comps

Recent Sales Near Sage Ranch

Location Map

Comparables 1-6 located within six blocks of Sage Ranch.



Comparable 1



Address: 20912 Carriage Dr, Tehachapi, CA 93561
Type: Single Family - 4 Beds, 2 Baths
Year Built: 2021
Sold On: 12/24/2021
Selling Price: \$399,999
Approx Square Feet: 1,658
Price/Sq Ft: \$241.25

Property Description: Brand New Home located in Golden Hill West Neighborhood. Owned Solar System. Unexpected Job Transfer is the only reason this home is on the market. Open Concept, Greatroom Style Floorplan... Offering 4-Bedrooms/2-Bathrooms. Interior Features: Neutral Consistent Design Theme Throughout! Vaulted Ceilings! Large Spacious Living Room with Open Dining Area, Farmhouse Style Kitchen with White Cabinets, Granite Countertops, GE Stainless Appliances, Fabulous Convection Oven with Full Air Fryer Combination and gas cooktop, GE Stainless dishwasher and Built-In Microwave. Large Master Suite & Elegant Master Bathroom, spacious guest bedrooms and guest bathroom, both bathrooms have automatic light sensors. Indoor fire sprinkler system. Tankless Water Heater

Comparable 2



Address: 213 Meadowbrook Ct, Tehachapi, CA 93561
Type: Single Family - 3 Beds, 2 Baths
Year Built: 1987
Sold On: 09/24/2021
Selling Price: \$295,000
Approx Square Feet: 1,155
Price/Sq Ft: \$255.41

Property Description: Cozy home located in Tehachapi - close to schools, downtown and Warrior Park. This 3 bedroom, 2 bath home, has a fully landscaped front yard with a big shade tree that really adds to the curb appeal of this home. Newer laminate wood flooring in the living room, fire place, the master bedroom is large and 2 car attached garage. The backyard is fully fenced and there is a shed to put your garden items or extra storage. The backyard covered patio offers a lot of shade and a great place to entertain.

Comparable 3



Address: 108 Chaparrel St, Tehachapi, CA 93561
Type: Single Family - 4 Beds, 2 Baths
Year Built: 1987
Sold On: 11/02/2021
Selling Price: \$370,000
Approx Square Feet: 1,711 Assessor
Price/Sq Ft: \$216.25

Property Description: Situated just a five minute walk from Tompkins Elementary, and a few minutes drive to downtown. Has a permitted sunroom addition, and mature landscaping surrounding the home. The windows were upgraded in 2019 throughout the home, with a beautiful clean white finish. Double door entrance. The living room has a brick front fireplace with gas start for easy winter fires, and laminate flooring. The kitchen is open to the dining area and overlooks the sunroom and backyard. It has durable Corian counters, and upgraded dishwasher and double oven stove. The family bathroom has a full bath with tile surround, shower and tub, while the master bathroom has a good sized walk in shower with tile surround and glass doors. All faucets and fixtures including lights have recently been upgraded in both bathrooms. Master bedroom has sliding doors that lead out to a covered patio. A second patio is located outside of the sunroom with space for your seating area and grill. Great location, beautiful backyard, and cute, clean, move in ready home.

Comparable 4



Address: 1332 Cellini Ct, Tehachapi, CA 93561
Type: Single Family - 3 Beds, 2 Baths
Year Built: 2007
Sold On: 10/13/2021
Selling Price: \$454,500
Approx Square Feet: 1,737 Assessor
Price/Sq Ft: \$261.66

Property Description: Well maintained home located in Alta Estates subdivision. Swimming pool. This gorgeous home features an open Greatroom concept floorplan offering 3 spacious bedrooms/2-full bathrooms, plus a large den/office off of the main living area. Beautiful kitchen with white cabinets, tile countertops and updated stainless appliances. Recent upgrades include: Updated flooring and baseboards throughout, LUXURY VINYL PLANK in main living areas and high quality carpet in bedrooms areas. All new neutral color designer paint throughout. Updated drought tolerant landscaping with new retaining wall. Excellent curb appeal situated at the end of a premium cul-de-sac lot offering fantastic mountain views. Truly turn-key and ready for a quick close.

Comparable 5



Address: 1328 Arabella Ct, Tehachapi, CA 93561
Type: Single Family - 3 Beds, 2 Baths
Year Built: 2013
Sold On: 12/21/2021
Selling Price: \$429,000
Approx Square Feet: 1,858 Assessor
Price/Sq Ft: \$230.89

Property Description: 3 bedroom plus an office, which could be a 4th bedroom. This home has had only one owner and almost looks brand new. Formal living room, den, open kitchen, dining room. Office or 4th bedroom off of living room. Large master bedroom, very adequate guest bedrooms. One garage is detached. Almost to end of culdesac so great location. House was repainted outside 2 years ago. Landscaped in front, and seller enlarged patio from original design.

Comparable 6



Address: 1309 Wild Olive Rd, Tehachapi, CA 93561
Type: Single Family - 3 Beds, 2 Baths
Year Built: 2005
Sold On: 12/01/2021
Selling Price: \$408,000
Approx Square Feet: 1,837 Assessor
Price/Sq Ft: \$222.10

Property Description: Single story home located in a great location of the KB homes tract. This home is situated on a corner lot. It has upgraded granite kitchen counters, tiled floors, neutral paint and upgraded light fixtures in the bathrooms. The split wing floor plan with 9 foot high ceilings and a well laid out floor plan make this home feel larger than its square footage. The great room has a gas burning fireplace. The primary bedroom has a large bathroom, walk-in closet and doors to the backyard. Over sized glass doors exit to the patio from the great and main bedroom. There is a Tuff Shed in the back yard for convenient storage. The home is surrounded with white vinyl privacy fencing. The back wire patio structure includes the patio shade cover. This is a great location that is close for commuters working out of town.

Comments on Sales Comparison

COMP 1:

Date Sold 12/24/2021 - Sales Price \$399,999 - 1,658 sq ft - \$241 per sq ft

Comp 1 was selected because it is well within the Sage price range and square footage. This very recent sale is one of few newly built homes so it compared favorably with Sage, however, it is further from city-center and thus land and product is less valuable. Further, there is no landscaping in front or back yard and thus would require purchaser to do it themselves to provide any curb appeal. Likewise, neighboring properties have no landscaping and dirt roads. With a total of 1,658 sq ft this size range likewise fits within Sage's product profile. In conclusion, this supports higher pricing for Sage Ranch because of Sage's central location, amenities and curb appeal.

COMP 2:

Date Sold 09/24/2021 - Sales Price \$295,000 - 1,155 sq ft - \$255 per sq ft

Selected due to its proximity to Sage Ranch and is a recent sale. With a total of just under 1,200 sq ft it is at the smaller end of the scale and would compete with Sage's smaller homes. Note that it was built 1987 and it is in great need of updating. Though some of it has been updated since 1987, none of the updates are recent. Kitchen and bathrooms are older and have substandard materials. This house shows very poorly compared to any of Sage's products. Sold at \$255 per sq ft supports Sage Ranch's pricing.

COMP 3:

Date Sold 11/02/2021 - Sales Price \$370,000 - 1,711 sq ft - \$216 per sq ft

Built over 35 years ago this house is located near Sage Ranch and has 4 beds, 1 3/4 baths. Listing states that it had windows replaced in 2019 but all other fixtures, flooring, and finished are very dated and not renovated. To bring this home up to Sage Ranch standards would require an entire, full-scale renovation. As such, this comp supports Sage Ranch pricing.

COMP 4:

Date Sold 10/13/2021 - Sales Price \$454,500 - 1,737 sq ft - \$262 per sq ft

This comp was selected due to its proximity to Sage Ranch and because it is in one of the better subdivisions in Tehachapi. It was built in 2007 so newer than most houses on the market but it still is dated compared to a brand new build. The style is a bit outdated and owner added vinyl plank flooring which is a mid-level finish. At \$262 per square foot pricing it shows that a slightly better neighborhood (with Sage Ranch still being a superior product) and newer build (but still 14 years old) commands a higher dollar per square foot price in this market. This, again, gives solid support for Sage Ranch pricing.

COMP 5:

Date Sold 12/21/2021 - Sales Price \$429,000 - 1,858 sq ft - \$230 per sq ft

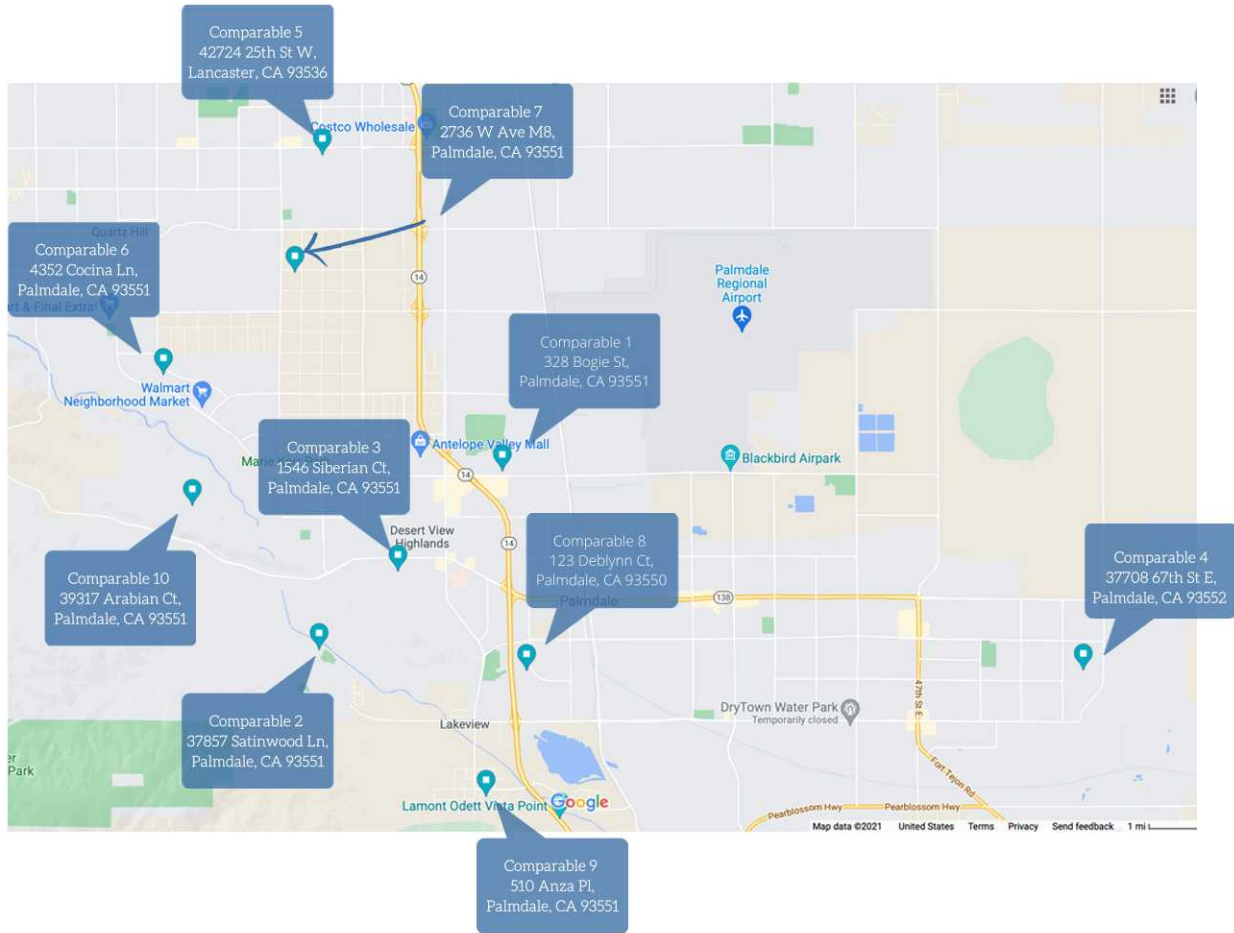
This is a recent sale, located near Sage Ranch and at 8 years old is among the newer homes sold in the area. The fixtures are mid-level and show wear and tear as well as have a dated feel. This home is not nearly as appealing as the new build product in the same approx. sq footage as Sage Ranch's product. This comp, again, supports Sage Ranch's pricing of its larger homes.

COMP 6:

Date Sold 12/01/2021 - Sales Price \$408,000 - 1,837 sq ft - \$222 per sq ft

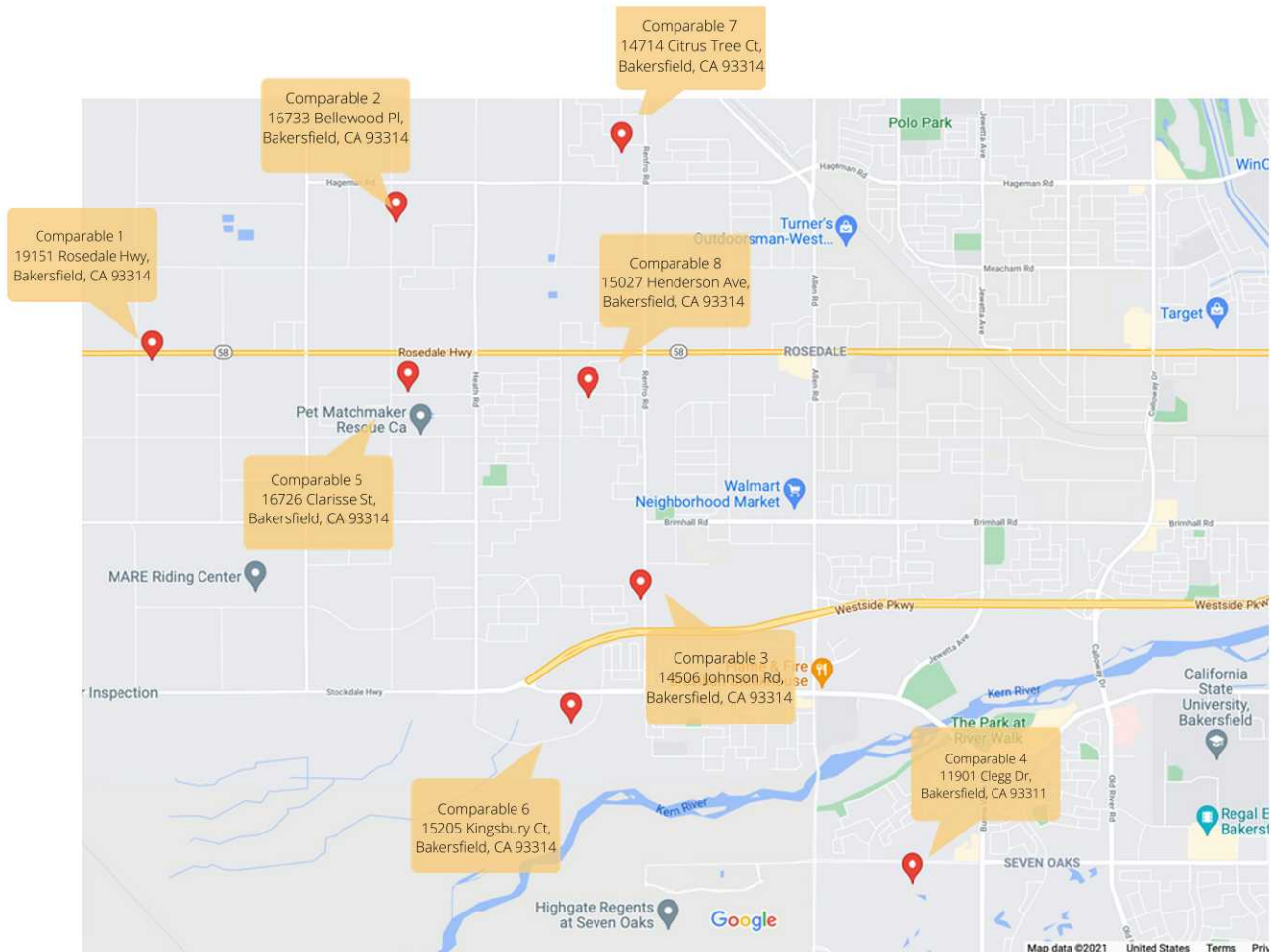
This home is part of a KB homes tract that provides a neighborhood feel without the amenities that Sage Ranch provides. Though it is one of the nicer homes recently sold, it is 16 years old and without renovation. As such, it shows wear and tear and also fixtures, color palate and materials chosen all feel dated. It is single story, close to school and similar site area. The bedroom count is much like Sage Ranch's Plan 3 Redwood single family home and given the difference between this KB home and Sage's brand new homes built within a planned community with amenities, this sale supports Sage Ranch pricing.

Comparable Houses/ Recent Sales in Antelope Valley



Comparable Houses in Antelope Valley						
	ADDRESS	SOLD	PRICE	SQFT	PRICE/SQFT	BUILT
1	328 Bogie St, Palmdale, CA 93551	12/16/21	510,000	1,782	286	2003
2	37857 Satinwood Ln, Palmdale, CA 93551	12/20/21	505,000	1,780	284	2006
3	1546 Siberian Ct, Palmdale, CA 93551	12/20/21	520,000	1,924	270	1989
4	37708 67th St E, Palmdale, CA 93552	12/23/21	575,000	2,082	276	2021
5	42724 25th St W, Lancaster, CA 93536	12/6/21	600,000	1,814	331	1981
6	4352 Cocina Ln, Palmdale, CA 93551	11/30/21	525,000	1,578	333	1990
7	2736 W Avenue M8, Palmdale, CA 93551	12/20/21	620,000	1,592	389	1985
8	123 Debyllynn Ct, Palmdale, CA 93550	12/15/21	542,000	1,801	301	1988
9	510 Anza Pl, Palmdale, CA 93551	12/17/21	1,120,000	4,315	260	2006
10	39317 Arabian Ct, Palmdale, CA 93551	12/21/21	634,025	2,741	231	2021

Comparable Houses/ Recent Sales in Bakersfield



Comparable Houses in Bakersfield

	ADDRESS	SOLD	PRICE	SQFT	PRICE/SQFT	BUILT
1	19151 Rosedale Hwy, Bakersfield, CA 93314	12/16/21	600,000	1,852	324	1979
2	16733 Bellewood Pl, Bakersfield, CA 93314	12/3/21	799,900	3,013	265	2018
3	14506 Johnson Rd, Bakersfield, CA 93314	12/21/21	500,000	1,453	344	1965
4	11901 Clegg Dr, Bakersfield, CA 93311	12/6/21	1,170,000	3,671	319	2006
5	16726 Clarisse St, Bakersfield, CA 93314	12/6/21	799,900	3,095	258	2005
6	15205 Kingsbury Ct, Bakersfield, CA 93314	12/16/21	560,000	2,234	251	2017
7	14714 Citrus Tree Ct, Bakersfield, CA 93314	12/27/21	575,000	2,578	223	2018
8	15027 Henderson Ave, Bakersfield, CA 93314	12/16/21	985,500	3,666	269	2005

Product Building Types and Pricing

Townhomes

Building Types: 3-plex and 4-plex
Plan Square Footage Range: 1400-1500 SF
2 story units
Priced at \$310 per sqft then will range from \$434,000 - \$465,000.

Cottage Homes A

Building Types: 4-plex, 6-plex and 8-plex
Plan Square Footage Range: 950-1500 SF
1 story and 2 story units
Priced between \$310 and \$330 per sqft then will range from \$294,500 - \$495,000.

Cottage Homes B

Building Types: 4-plex, 6-plex and 8-plex
Plan Square Footage Range: 950-1150 SF
1 story units
Priced at \$330 per sqft then will range from \$313,500 - \$379,500.

Paired Homes

Building Types: 4-plex and 6-plex
Plan Square Footage Range: 1600-1800 SF
2 story units
Priced at \$310 per sqft then will range from \$496,000 - \$558,000.

Patio Homes

Building Types: 36x90' Lots
Plan Square Footage Range: 1800-2000 SF
2 story units
Priced at \$290 per sqft then will range from \$522,000 - \$558,000.

Single Family Detached (SFD-7) Homes

Building Types: 42' x 100' Lots
Plan Square Footage Ranges: 1900-2300 SF
2 story units
Priced at \$290 per sqft then will range from \$551,000 - \$667,000.

Single Family Detached (SFD-5) Homes

Building Types: 50'55' x 100' Lots
Plan Square Footage Ranges: 2000-2600 SF
1 story and 2 story units
Priced at \$290 per sqft then will range from \$580,000 - \$754,000.

CURRENT FLOOR PLANS

COTTAGE HOMES 'A'

PLAN 1 | BASIL
1 BEDROOM, 1 BATH APPROX. 955 S.F.
PRICE PER SQFT \$330

PLAN 2 | THYME
2 BEDROOM, 2 BATHS APPROX. 1,137 S.F.
PRICE PER SQFT \$330

PLAN 3 | ROSEMARY
2 BEDROOM, 2 BATHS APPROX. 1,487 S.F.
PRICE PER SQFT \$310



TOWNHOMES

PLAN 1 | POPPY
2 BEDROOM, 2.5 BATHS APPROX. 1,267 S.F.
PRICE PER SQFT \$330

PLAN 1R | POPPY
2 BEDROOM, 2.5 BATHS APPROX. 1,267 S.F.
PRICE PER SQFT \$330

PLAN 2 | LAVENDER
3 BEDROOM, 2.5 BATHS APPROX. 1,550 S.F.
PRICE PER SQFT \$310

PLAN 3 | SUNFLOWER
3 BEDROOM, 2.5 BATHS APPROX. 1,630 S.F.
PRICE PER SQFT \$310



PATIO HOMES

PLAN 1 | ROSE
3 BEDROOM, 2.5 BATH + STUDY APPROX. 1,955 S.F.
PRICE PER SQFT \$290

PLAN 2 | AGAVE
3 BEDROOM, 2.5 BATH + LOFT APPROX. 2,036 S.F.
PRICE PER SQFT \$290

PLAN 3 | CACTUS
3 BEDROOM, 3.5 BATH + LOFT APPROX. 2,093 S.F.
PRICE PER SQFT \$290



SFD7 HOMES

PLAN 1 | PONDEROSA
3 BEDROOM, 2.5 BATH APPROX. 1,956 S.F.
PRICE PER SQFT \$290

PLAN 2 | SEQUOIA
4 BEDROOM, 3 BATH + STUDY APPROX. 2,258 S.F.
PRICE PER SQFT \$290

PLAN 3 | REDWOOD
3 BEDROOM, 2.5 BATH
+ STUDIO UNIT (1 BD, 1 BA) APPROX. 2,380 S.F.
PRICE PER SQFT \$290



Price Evaluation Summary

The Tehachapi Area (which is the City plus the larger population in the unincorporated area of the same name) has tremendous pent-up local demand for new housing product. Moreover, Tehachapi serves as a highly desirable commuter community to major nearby population centers and engineering, aviation, and military installations.

Tehachapi attracts new residents as a highly desirable and commutable location for professionals and their families who prefer cleaner, safer, and a higher standard of living provided by Tehachapi at affordable pricing. The main hurdle preventing people from moving to Tehachapi is its extremely small inventory of new housing and limited housing choices at the local market price.

Tehachapi is located only 35 miles from the city of Bakersfield which has a population of more than 375,000 and an average home sales price of \$380K; and is 47 miles from Palmdale/Lancaster which has a population of more than 475,000 people and an average home price of \$480K and \$540K respectively. Highly relevant to this analysis is that homes at those "average" prices are most often more than 2 decades old, in overall poor condition, and located in the less desirable parts of these much larger cities.

Additionally, Sage Ranch has been in communication at the highest levels with leadership from nearby Edwards Air Force Base which is home to 12,000 service people, civilian professionals, and their families. Sage Ranch senior executives recently traveled to Washington DC with retired Gen. David Smith who is currently the civilian leader of Plant 42, home to fully funded \$80 Billion dollar B-21 bomber contract and employing an additional 12,000 engineers and support staff. Gen. Smith noted that he needs to house an additional 3,000 engineers, that housing is currently a bottle-neck causing project delays, and that Sage Ranch specifically would provide an optimal solution for his civilian engineers and their families. His deputy spoke in favor of the project at the Tehachapi Planning Commission meeting and Gen Smith spoke in favor of the project on our trip to Washington DC where he made the military community aware of such off-base housing solutions. Sage Ranch is 50 miles from Plant 42 and less than 45 miles to Edwards Air Force Base. These are easy commutes because they are far less traveled than, for example, Los Angeles to Palmdale where commuters face massive rush-hour traffic.

Simply put, Sage Ranch will provide far superior housing in a better area, with superior quality of living at a total home price less than what is average, in these neighboring cities.

For example, according to the American Lung Association's "State of the Air" report, which compares roughly 200 national metropolitan areas. Bakersfield is frequently reputed to be the most polluted city in the United States. Tehachapi, by comparison, ranks very favorably being a mountain community at 4,000 feet elevation without being within an industrial/urban setting. Tehachapi has the lowest crime rate in Kern County.

Similarly, cost of living in Tehachapi is nearly on par with average costs of living in the United States and as such is much less expensive than nearby cities including Lancaster/Palmdale, Bakersfield and for that matter, California as a whole. It is a small, but geographically close, island of low crime, low cost of living, and clean air.

Currently, the average home price in Tehachapi is \$446,926. And, further, houses in Tehachapi are 19.7 years old on average and old homes sell for roughly \$250 per square foot for old stock homes in need of significant rehabilitation. And, homes available at or near that average price are far less desirable than those offered by Sage Ranch. Tehachapi home values have gone up 14.9% this year and 24.6% over the prior year. This compares extremely favorably to California state-wide pricing increases which are just under 12% increase year over year demonstrating a disproportionate demand for housing in Tehachapi.

The single things stopping Tehachapi from experiencing hockey stick growth is housing stock—and the city is keenly aware of this and hence has placed significant barriers of entry for new housing stock. But, Sage Ranch is past that hurdle having been granted full entitlement for 995 housing units.

Water, which is a scarce resource, has likewise prevented growth and will continue to prevent significant growth into the future. Sage Ranch, while not required to provide its own water, has contributed more than 50% of deeded water rights to the City which helped gain the City's overwhelming support. Such deeded water rights are extremely scarce and not available to private developers without tremendously escalating prices.

The overwhelming majority of consumers buy property (especially at this price range) based on two factors: a) how much is the down payment, and b) how much is the monthly expense. We refer to this as the "Consumer/End-user Comparable." Consumers look at layout, finishes, safety, and lifestyle the homes provide inside of their specific price range.

Other available homes in the same price range do not come close to providing what Sage Ranch delivers. The totality of homes available in the Sage Ranch "price range" —ie down payment + monthly cost fall far below the standard of living to be provided by Sage Ranch. And, this analysis is what drives the consumers' buying decision. In essence, home ownership at Sage Ranch can be less expensive than renting in these other urban areas and likely will remain that way for the life of the project.

Sage provides brand new sleek/modern, yet geographically relevant style of homes that don't look and feel "cookie cutter" like previous offerings from major tract home sellers. Moreover, Sage Ranch is creating a livable community (walkable at the center of town) with amenities that include 4 parks (Central park, soccer park, two neighborhood parks), 7 pocket parks, a fully equipped recreation area, a private clubhouse with swimming pool, and tennis court as well as a central gazebo and amphitheater.

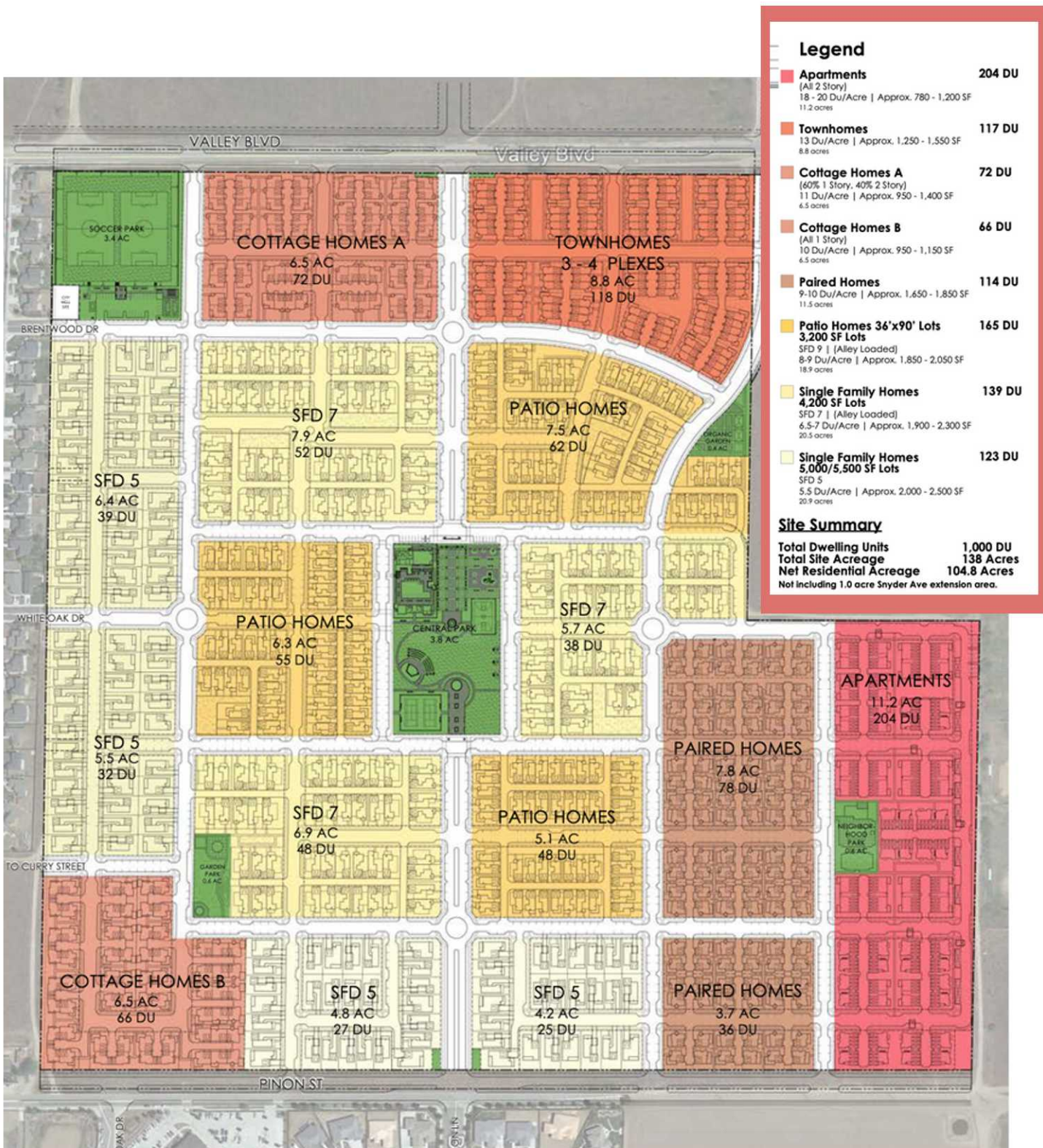
The bottom line is that Sage ranch will command the pricing stated that is 10% higher than the new comps provided in this report. With a wide range of exceptional amenities, including a swimming pool, tennis court, padel court, basketball court, large clubhouse, soccer fields, dog parks and more, Sage Ranch will demand **\$309 per square foot.**



Paul Morris
CEO, Keller Williams Forward Living
Date: May 24, 2023



Sage Ranch Land Use Plan



A total of 995 single- and multi-family dwelling units on 795 lots.